

# Planning Commission Agenda

Regular Meeting  
Tuesday, February 11, 2025

City Council Chambers-City Center South  
1001 11th Ave, Greeley, CO 80631

Zoom Webinar Link:  
<https://greeleygov.zoom.us/j/8547516730>  
2

## NOTICE:

Planning Commission meetings are held on the 2<sup>nd</sup> and 4<sup>th</sup> Tuesdays of each month. Meetings are conducted in a hybrid format, with a Zoom webinar in addition to the in-person meeting in Council Chambers.

Members of the public may participate in Planning Commission meetings in the manner that works best for them.

## Watch Meetings:



Meetings are open to the public and can be attended in person by anyone.

## Comment in Real Time:



Join the Zoom webinar (link above). During the public hearing, members of the public may address the Commission.

## Submit Written Comments:



Email comments about any item on the agenda to [cd\\_admin\\_team@greeleygov.com](mailto:cd_admin_team@greeleygov.com)



Written comments can be mailed or dropped off at the Planning office at 1100 10<sup>th</sup> Street, Greeley, CO 80631. Written comments received prior to or during the meeting will be read into the record in real time.

Meeting agendas and minutes are available on the City's meeting portal at [greeley-co.municodemeetings.com/](http://greeley-co.municodemeetings.com/)

For more information about this meeting or to request reasonable accommodations, contact the administrative team at 970-350-9780 or by email at [cd\\_admin\\_team@greeleygov.com](mailto:cd_admin_team@greeleygov.com).



## Planning Commission

**February 11, 2025 at 1:15 PM**

**1001 11th Avenue, City Center South, Greeley, CO 80631**

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### **Agenda**

1. Call to Order
2. Roll Call
3. Approval of the Agenda
4. Case SUB2024-0013 Sunset Ridge Market Subdivision, First Filing, Preliminary Plat Continuing to February 25, 2025
5. Code amendments to the Greeley Development Code to rename the General Improvement District (GID) zoning overlay to Downtown Overlay District 1, adjust the boundaries, and clarify the standards. Case CU2024-0004
6. Staff Report
7. Adjournment

### **Workshop**

8. Amendments to Landscape Code: Artificial Turf

## PLANNING COMMISSION SUMMARY

**ITEM:** Code amendments to the Greeley Development Code to rename the General Improvement District (GID) zoning overlay to Downtown Overlay District 1, adjust the boundaries, and clarify the standards

**FILE NUMBER:** CU2024-0004

**PROJECT:** Code Amendments: Downtown Overlay

**APPLICANT:** City of Greeley, Community Development Department

**CASE PLANNER:** Doug May, AICP | Interim Chief Planner

**PLANNING COMMISSION HEARING DATE:** February 11, 2025

**PLANNING COMMISSION FUNCTION:**

Review the proposed code amendment for compliance with Section 24-211.b of the Greeley Development Code and make a recommendation to City Council.

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### EXECUTIVE SUMMARY

The City of Greeley is considering a Development Code text amendment to rename the General Improvement District (GID) zoning overlay to Downtown Overlay District 1, adjust the boundaries to include properties with proximity to 8th Avenue from 11th Street to 17th Street, and clarify the standards.

### A. REQUEST

The Community Development Department requests recommendation of approval for a code amendment renaming the General Improvement District (GID) zoning overlay to Downtown Overlay District 1, adjusting the boundaries, and clarifying the standards.

### B. STAFF RECOMMENDATION

Approval

### C. BACKGROUND

The existing General Improvement District Overlay currently applies to the historic core of Downtown Greeley. This overlay waives requirements for setbacks, building height, on-site parking, and open space. The overlay's purpose is to:

1. Allow development that reflects historic Downtown Greeley's patterns.
2. Complement the scale, mass, form, and design of existing buildings.
3. Promote the unique character of Downtown Greeley.
4. Coordinate development with investments in public spaces, such as streets and civic spaces.

5. Implement the planning and urban design policies in the Comprehensive Plan and related documents.

The Greeley City Council adopted the Downtown 2032 – The Path Forward plan, which outlines numerous action items, including the creation of guidelines for Downtown that promote consistent treatment of the public realm, streetscape, building frontages, and character. Additionally, the Imagine Greeley Comprehensive Plan emphasizes facilitating the rebirth of Downtown Greeley as a regional multi-use activity area while preserving and promoting its cultural aspects. It notes:

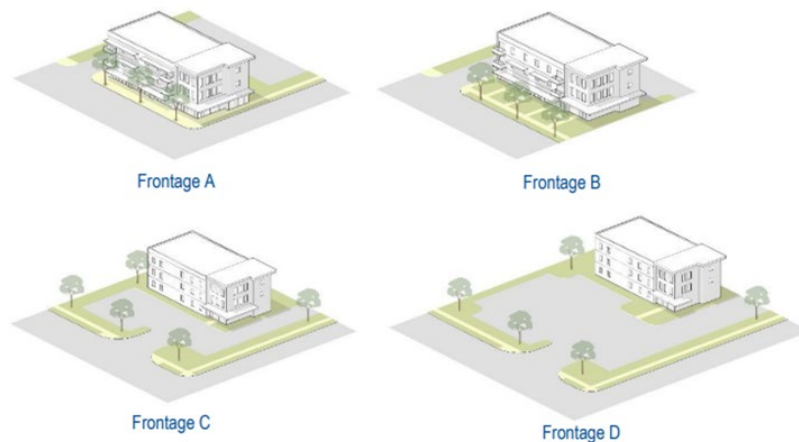
“...special care should be given towards ensuring new development is designed in a manner that is compatible with surrounding buildings and uses...”

The 8th Avenue Corridor serves as a gateway to and major thoroughfare through Downtown Greeley. The corridor functions as a main street, connecting the downtown core to the University of Northern Colorado campus. Redevelopment along this corridor has been active, with notable projects like the Maddie Apartment buildings and 55 Resort. However, feedback from the development community has indicated challenges in the development review process for projects within this area.

Most of downtown Greeley is zoned C-H (Commercial High Intensity), which includes “preferred frontage types” in the Greeley Development Code. These frontage types, however, are suburban in design, requiring buildings to be set back from the lot with parking in front. This standard conflicts with the urban character envisioned for both Downtown Greeley and the 8th Avenue Corridor. Recent development along the corridor has been more urban in nature, with buildings constructed at the front property line and parking placed behind the buildings. However, this design requires Alternative Compliance, an administrative variance process. To address this, the amendment proposes changing the preferred frontage type from Frontage C to Frontage A within Downtown Overlay 1.

**Figure 24-6-1 Frontage Design**

*Frontage types are differentiated based on the location of the front building line (FBL), the extent of the front building line occupied by the building (Required FBL), access widths, and parking location and extent along frontage. Coordinating frontage design of multiple buildings and sites along a block impacts the character of the streetscape and the block.*



To align with the goals of the Downtown 2032 plan and the Imagine Greeley Comprehensive Plan, staff proposes expanding the overlay district to include the 8th Avenue Corridor. The expansion aims to:

- Foster development that is consistent with Downtown Greeley’s urban fabric.
- Promote a walkable environment along the 8th Avenue Corridor.
- Strengthen the connection between the Downtown core and the University of Northern Colorado campus.

The amendment would also rename the General Improvement District Overlay to Downtown Overlay, reflecting its updated purpose and reducing confusion.

#### **D. REVIEW CRITERIA**

The Commission shall consider comment from review agencies and offices, staff recommendation, public comments, and the following criteria in making a recommendation to City Council.

##### **1. The amendment furthers the purposes of these regulations in Section 24-101.c.**

Staff Comment: The proposed code amendment is intended to implement objectives of the Comprehensive Plan and ensure new development reflects the area’s historic patterns, enhances the pedestrian experience, and supports the broader vision for Downtown Greeley as a vibrant, multi-use activity center.

The request complies with this criterion.

##### **2. The amendment is in accordance with the Comprehensive Plan and has been considered for both its long-range affects as well as immediate impacts.**

Staff Comment: The following objectives from the Comprehensive Plan are applicable to the proposed code amendment.

Objective GC-1.2 Form of Growth: Encourage a compact urban form over sprawl or leap-frog development.

Objective GC-4.1 Priority Infill/Redevelopment Areas: Encourages infill development and redevelopment in priority locations, such as Downtown Center and Downtown Neighborhoods.

Objective GC-4.2 Reinvestment/Adaptive Reuse: Promotes reinvestment in established areas, encouraging the revitalization of underutilized structures.

Objective GC-4.3 Infill Compatibility: Supports designs that enhance the character of neighborhoods, ensuring compatibility with surrounding areas.

Objective GC-5.1 Historic Preservation: Encourages historic preservation in Downtown through incentives, aligning with efforts to maintain the historic urban fabric.

Objective GC-5.7 Downtown Transportation: Advocates for a pedestrian-friendly Downtown transportation system to meet mobility needs and enhance the area's accessibility.

GC-5.8 Downtown Linkages: Improves linkages between Downtown and nearby areas, enhancing connectivity and promoting pedestrian-oriented land uses.

Objective GC-6.1 Complete Neighborhoods: Aims to foster neighborhoods with mixed uses and multi-modal connectivity, aligning with the walkability and urban connectivity goals

The request complies with this criterion.

**3. The amendment promotes the public safety, health and general welfare of the citizens of Greeley.**

The amendment promotes walkable urban development, minimizing pedestrian-vehicle conflicts and enhancing street safety, particularly along the 8th Avenue Corridor. This corridor acts as a vital link between Downtown and the University of Northern Colorado campus, improving access to services. By prioritizing infill development, the amendment makes the most of existing infrastructure while curbing the need for expensive suburban sprawl. Additionally, mixed-use development reduces car dependence, lowering emissions and fostering a healthier environment for residents.

The request complies with this criterion.

**4. The amendment improves the effectiveness and efficiency of administering the Land Development Code.**

Staff Comment: The proposed amendment improves the effectiveness of the Development Code by creating a more consistent regulatory framework. This reduces ambiguity in development requirements and clarifies how properties along the corridor should be developed, making the review process faster and more predictable for developers and city staff.

The request complies with this criterion.

**E. PUBLIC NOTICE AND COMMENT**

Notice was published on the City of Greeley's website on January 13, 2025, pursuant to the

City's notification requirements for code amendments to the Development Code. Courtesy mailed notice was also sent to all property owners within the boundaries of the existing GID and expanded Downtown Overlay. No objection or support has been received by staff.

A meeting with property owners in the area was held on November 21, 2024, where 10 people attended.

## **F. PLANNING COMMISSION MOTIONS**

### **Recommended (Approval)**

Based on the preceding analysis, the Planning Commission finds that the proposed code amendments to the Greeley Municipal Code are consistent with the Development Code criteria of Section 24-211.b (Items 1 through 4) and therefore recommends that the City Council approves the code amendments to the Greeley Municipal Code as submitted.

### **Alternative (Denial)**

Based on the preceding analysis, the Planning Commission finds that the proposed code amendments to the Greeley Municipal Code are not consistent with the Development Code criteria of Section 24-211.b (Items 1 through 4) and therefore recommends that the City Council denies the code amendments to the Greeley Municipal Code as submitted.

# Downtown Overlay Code Update Draft 1-10-25 CLEAN

## Draft Document Conventions

- Text in red underline is proposed new language.
- Text in blue indicates comments

## Summary of sections with new language:

- **Sec. 24-703.c.1.**
- **Sec. 24-801.b.3.**
- **Chapter 10. Special Districts & Areas**
- **Sec. 24-1005.**

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### **Sec. 24-703.c.1.**

Downtown Overlay 1. Refer to Section 24-1005.

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### **Sec. 24-801.b.3.**

*Exemptions.* Development within Downtown Overlay 1 and the Redevelopment District may be exempt from certain requirements. Refer to Chapter 10 of the Development Code.

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## **Chapter 10. Special Districts & Areas**

24-1001 Floodplain Overlay District

24-1002 Airport Overlay District

24-1003 Historic Preservation

24-1004 Areas of Ecological Significance

24-1005 Downtown Overlay 1

24-1006 Redevelopment District Overlay

24-1007 Character Overlay Districts

24-1008 Entertainment Districts

24-1009 Hillside Development Standards

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**Sec. 24-1005. – Downtown Overlay 1.**

- a) *Intent.* The intent of this section is to provide standards for the use and development of land in the core of downtown Greeley. The specific intent is to:
1. Allow development that reflects the historic development patterns of downtown Greeley.
  2. Complement the scale, mass, form, and design of buildings.
  3. Promote the unique character of downtown Greeley.
  4. Coordinate development in the downtown area with the design and investments in public spaces, including streets, civic spaces, and other gathering places.
  5. Implement the planning and urban design policies for downtown reflected in the comprehensive plan, or any specific plan for any parts of the downtown area.
- b) *Applicability.* The provisions herein shall apply to all land shown in Figure 24-1005-1:

[Insert map, label:] Figure 24-1005-1: Downtown Overlay 1

- c) *District regulations.* Land in the Downtown Overlay 1 is subject to the following:
1. Uses are exempt from providing off-street parking for automobiles required by the Development Code. Bicycle parking is still required at the rate required of the subject uses. Any automobile or bicycle parking provided must meet Development Code standards for allowable dimensions, locations, design, ADA accessibility, access, lighting, landscaping, setbacks, and other applicable standards.
  2. Development within the overlay is exempt from all limits on density, maximum number of dwelling units, building height, and minimum setbacks.
  3. For nonresidential and mixed-use development, Frontage A (Table 24-6-5) is preferred. For residential development, Terrace Frontage (Table 24-5-7) is preferred. Other frontage types are only allowed subject to the Community Development Director's approval of an alternative compliance request.
  4. Development within the overlay is exempt from providing on-site open space otherwise required in the Development Code. Right-of-way landscaping is required in accordance with Development Code standards. Any open space provided must meet applicable lot open space design standards and landscaping standards.



# Downtown Overlay CU2024-0004

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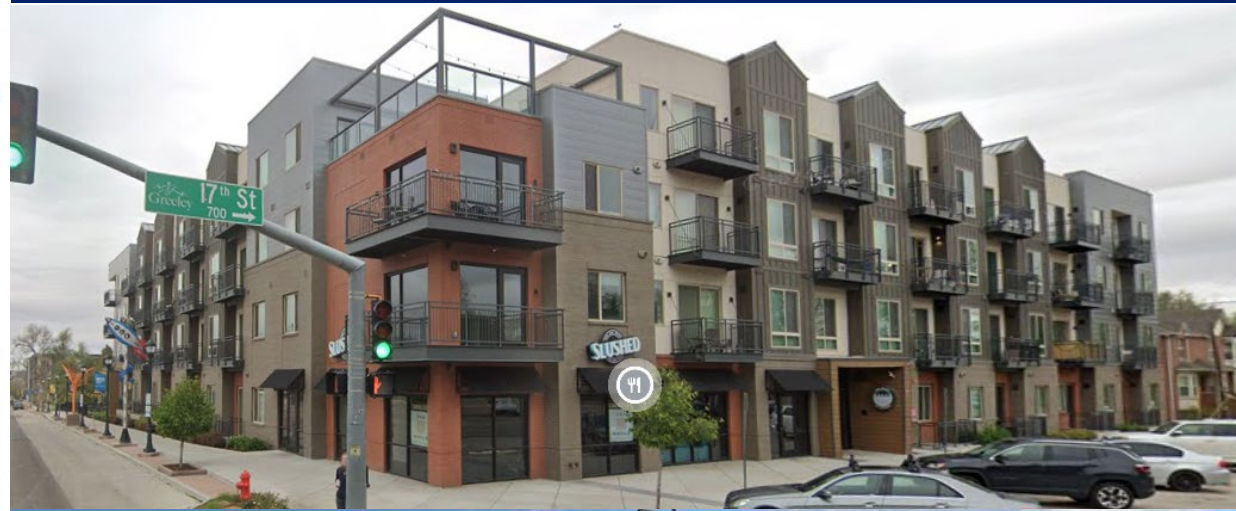
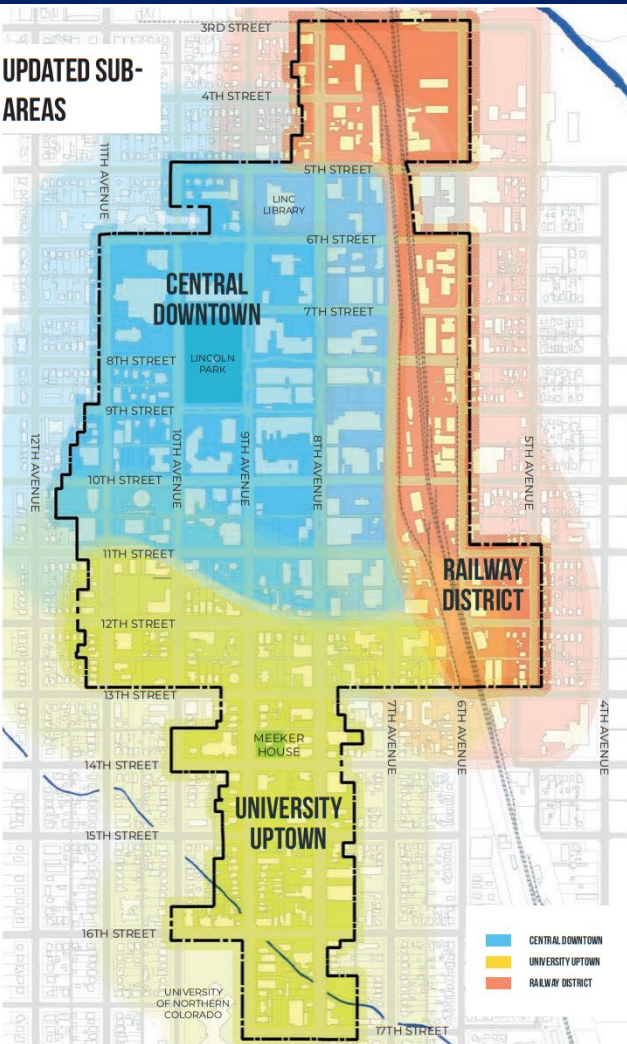
Community Development – Planning  
Planning Commission February 11, 2025



# Agenda

- Request and Background
- Location
- Existing GID Overlay
- Comprehensive Plan
- Request
- Considerations
- Motions

# Location



# Existing GID Overlay

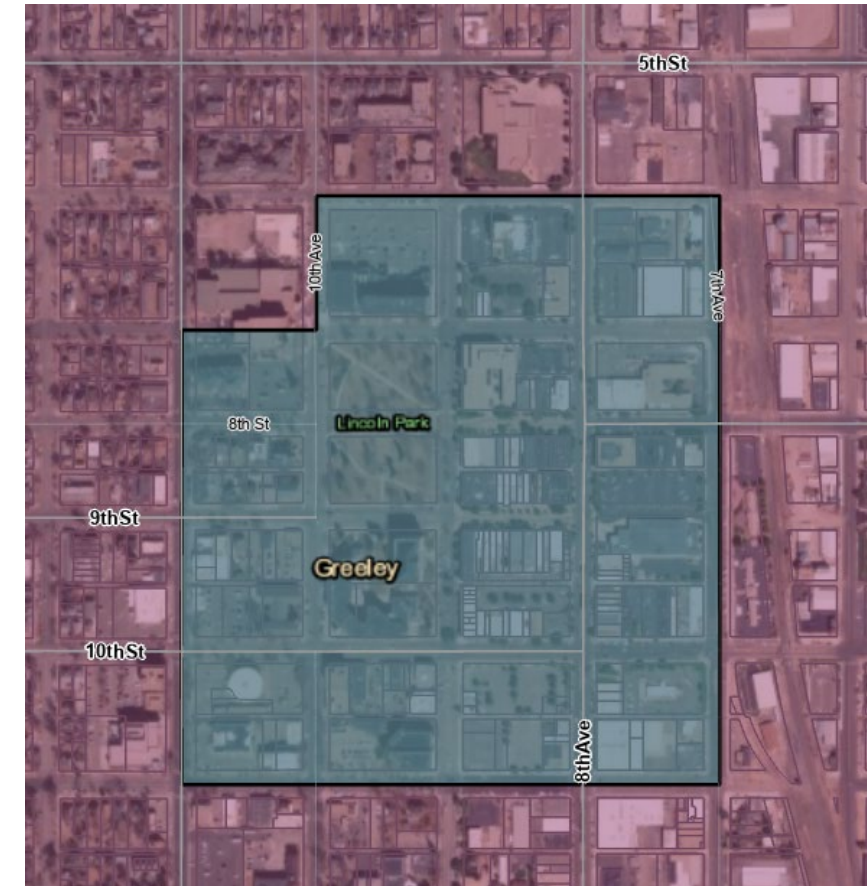


- **Existing General Improvement District (GID) Overlay**
  - Allow development that reflects the historic development patterns of Downtown Greeley.
  - Compliment the scale, mass, form and design of buildings, and promotes the unique character of downtown Greeley.
  - Coordinate development in the downtown area with the design and investments in public spaces, including streets, civic spaces and other gathering places.
  - Implement the planning and urban design policies for Downtown reflected in the Comprehensive Plan, or any specific plan for any parts of the Downtown area.

# Existing GID Overlay



- **Existing General Improvement District (GID) Overlay**
- Exempt from:
  - Development standards in Chapter 4 or corresponding standards in Chapters 5 and 6
  - Landscape Standards in Chapter 8; and 3.
  - Parking standards in Chapter 7



# Comprehensive Plan



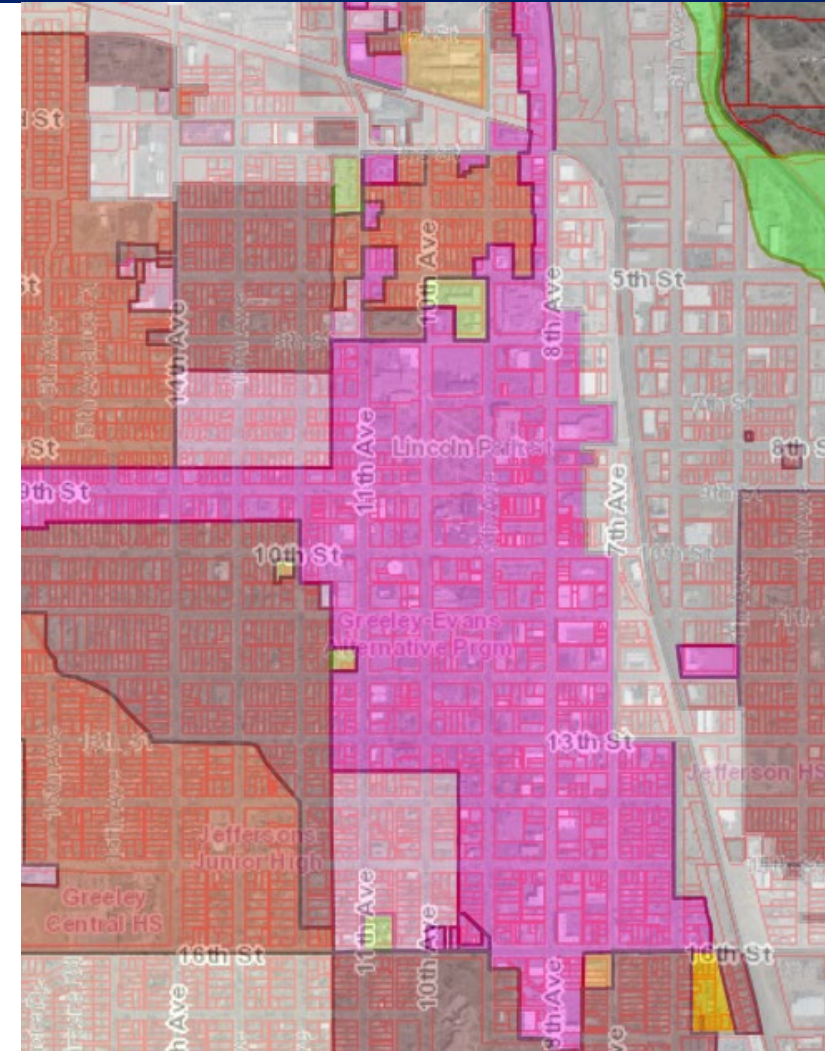
- **Downtown Greeley 2032 The Path Forward**
- Create new design standards and guidelines for Downtown that focus on a consistent treatment to the public realm, streetscape, building frontages, and character
- **Imagine Greeley Comprehensive Plan**
- Facilitate the rebirth of Downtown Greeley as a regional multi-use activity area while preserving and promoting the cultural aspects of the area.
- “...special care should be given towards ensuring new development is designed in a manner that is compatible with surrounding buildings and uses...”

# Request

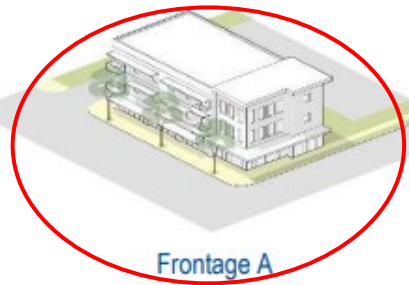


- **Proposed Amendment**

- Rename to the General Improvement District (GID) Overlay to Downtown Overlay
- Expand the boundaries to include properties with frontage along 8<sup>th</sup> Avenue
- Revise preferred frontage type from 'Type C' to 'Type A'
- Clarify standards within the district (i.e. landscaping, parking)



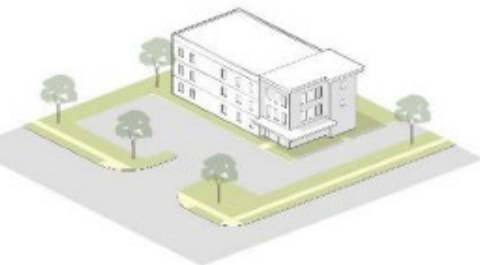
# Request



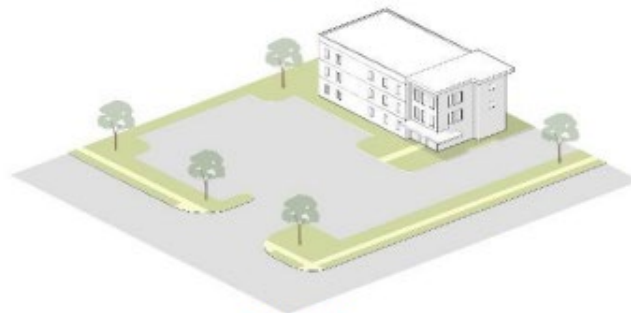
Frontage A



Frontage B



Frontage C



Frontage D

Table 24-5-7: Residential Frontage Types & Design Standards

| Frontage Element | Terrace Frontage | Neighborhood Frontage | Suburban Frontage |
|------------------|------------------|-----------------------|-------------------|
|                  |                  |                       |                   |

# Considerations

## Approval Criteria

- Code Amendment Review Criteria, Section 24-211.b

Four Criteria Used to Evaluate Code Amendments

- The proposal is consistent with the criteria as outlined in your Summary

## Notification

- Mailed notice to property owners within the proposed district boundaries
- Web notice
- No objection/support

## Recommendation

- Staff recommends approval

# Motions

## Recommended (Approval)

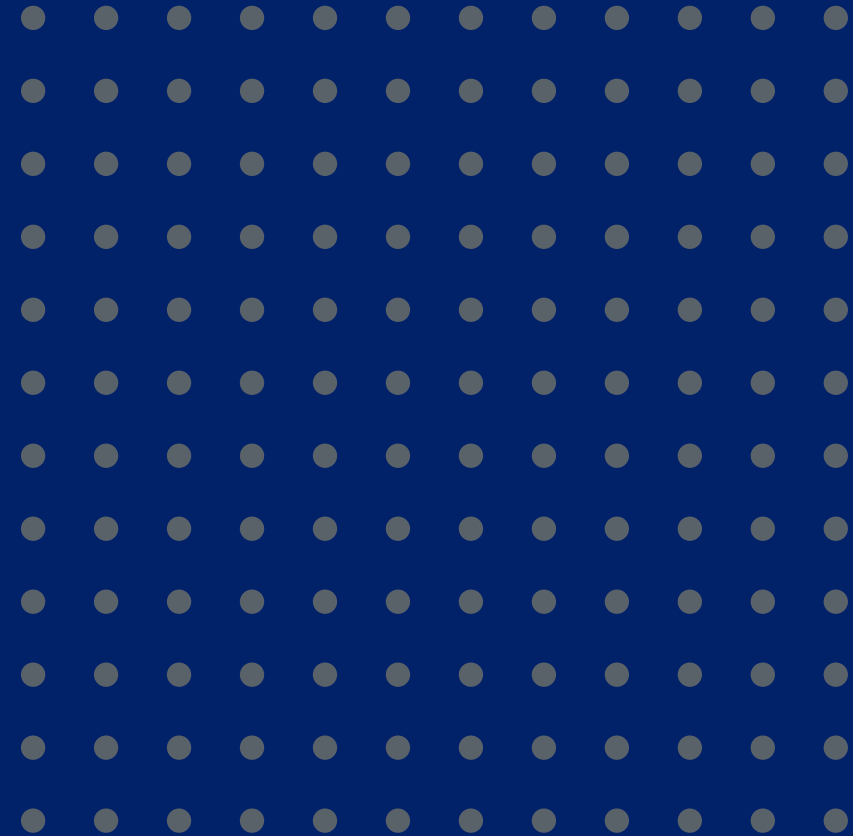
- Based on the preceding analysis, the Planning Commission finds that the proposed code amendments to the Greeley Municipal Code are consistent with the Development Code criteria of Section 24-211.b (Items 1 through 4) and therefore recommends that the City Council approves the code amendments to the Greeley Municipal Code as submitted.

## Alternative (Denial)

- Based on the preceding analysis, the Planning Commission finds that the proposed code amendments to the Greeley Municipal Code are not consistent with the Development Code criteria of Section 24-211.b (Items 1 through 4) and therefore recommends that the City Council denies the code amendments to the Greeley Municipal Code as submitted.

# Thank you

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## ***CHAPTER 8. LANDSCAPE STANDARDS***

### **Sec. 24-801. Intent and applicability.**

a. *Intent.* The intent of the landscape standards is to:

1. Protect natural landscapes, Greeley's agriculture traditions, and "Tree City USA" designation to strengthen the city's identity as growth occurs.
2. Improve city's image and build value with a well-designed public realm, coordinating landscape design for streetscapes, open spaces, civic places.
3. Promote quality private investment that corresponds with investments in the public realm, and emphasize distinct areas throughout the city with natural landscape materials.
4. Coordinate landscape and design amenities across multiple sites with special attention to the relationship of public and private frontages.
5. Encourage site and landscape design that allows spaces to serve multiple aesthetic, screening, environmental, recreational, or social functions.
6. Provide comfort, spatial definition, and visual interest to active spaces including streetscapes, walkways, civic spaces, parks, trails, or other similar outdoor gathering places.
7. Conserve energy and limited resources through landscape design, and protect and integrate established natural amenities rather than plant or design new ones.
8. Screen and mitigate the visual, noise, or other impacts of high-intensity areas of sites and buildings, or where the scale and pattern of development changes.
9. Implement the city's landscape policy plan for water efficiency, conserve water, and shift to water-conscious landscape design that is regionally appropriate and specific to the arid front range climate.

b. *Applicability.* The standards of this section shall apply to all new development as follows:

1. *Minor development.* Minor development shall meet the landscape standards to the extent of any work or improvement on the site, however, are not required to upgrade landscape areas or nonconformances where no work is being done. Minor development includes:
  - (a) Expansion by five percent to 25 percent of an existing multifamily or nonresidential building footprint or associated impervious surface;
  - (b) Detached house or multi-unit house projects involving five or fewer new buildings or occurring in association with a minor subdivision in section 24-205.
2. *Major development.* Major development shall require full compliance with all standards of this chapter for the entire site, any public streets and frontages, and any common areas. Major development includes:
  - (a) Any new nonresidential or multifamily building;
  - (b) Expansion of more than 25 percent of any existing nonresidential or multifamily building footprint or associated impervious surface;

- 
- (c) Any detached house or multi-unit house project involving more than five new buildings, or occurring through a major subdivision in section 24-203.

For major development, the intent is to bring the site into full compliance with these standards, except that the director may prorate the requirements to the extent of new development on the site where full compliance is not possible or practical.

- 3. *Exemptions.* ~~These standards do not apply to rehabilitation or adaptive reuse projects in the general improvement district (GID) and the redevelopment district (RD). Projects that involve a complete redevelopment of the property shall comply.~~ Projects located within the Downtown Overlay District and the Redevelopment District have alternative design standards. See Chapter 10 for more information.
- 4. *Landscape plan.* Construction or development of a site shall not be undertaken until a landscape plan has been approved by the director.
  - (a) The landscape plan shall be designed in conjunction with the drainage plan for the subject property in such a manner as to maximize stormwater runoff absorption.
  - (b) Landscape plans shall be prepared and stamped by a Colorado registered landscape architect unless waived by the community development director or the director's designee.
  - (c) For phased development, a proportionate share of landscaping acceptable to the city, as outlined in an approved subdivision improvement agreement, development agreement or planned unit development (PUD) plan, shall be installed and maintained with each phase based on the size of the proposed phase and shall be considered completed for the purposes of these regulations when such proportionate share of landscaping has been installed prior to issuance of a building permit.
- 5. *Inspection and approval.* Installation of approved landscape plans shall occur in the following manner:
  - (a) Minor development shall require an inspection by the city prior to a certificate of occupancy. If not previously installed, all required on-lot and rights-of-way landscaping for detached houses and multi-unit houses shall be installed within one year of the issuance of the certificate of occupancy and a financial security agreement is not required.
  - (b) Major development shall require a ~~letter of substantial completion of the landscape plan, stamped by a landscape architect or certified irrigation auditor, and~~ city inspection prior to certificate of occupancy, or as otherwise approved in the subdivision improvement agreement, development agreement, or planned unit development.
  - (c) If weather prevents the required landscaping from being installed, collateral in the form of a financial security agreement, acceptable to the city, in the amount of 125 percent of the cost of materials and installation is to be provided to the city and approved prior to issuance of the certificate of occupancy.

(Ord. No. 36, 2021, § 3(app. A, § 3), 9-21-2021)

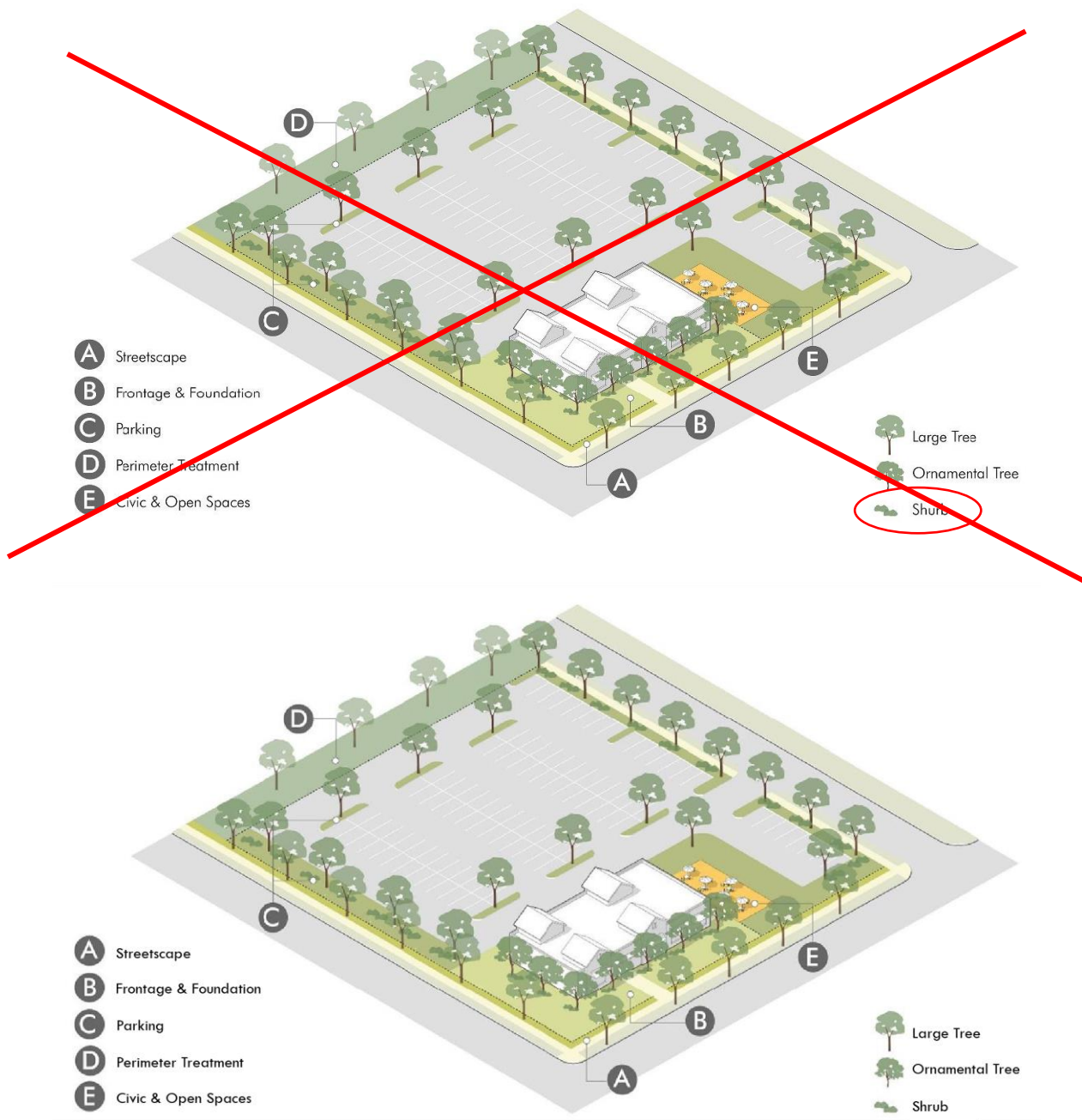
## **Sec. 24-802. Landscape design.**

- a. *Design objectives.* Landscape plans shall meet the following design objectives:
  - 1. Frame important streets and emphasize gateways with street trees, landscape massing, and other vertical elements.
  - 2. Promote stormwater management and prevent erosion through natural landscape elements and site features that intercept precipitation, filter, infiltrate, store, and convey runoff.

3. Encourage the use of bioretention facilities or other creative landscape and stormwater designs that use vegetation and natural processes to improve the quality of stormwater prior to discharge or infiltration into the ground.
  4. Create focal points, gathering places, and pathways that enhance the comfort, interest and movement of pedestrians.
  5. Improve resource and energy efficiency with landscape arrangements that consider wind blocks, strategic shading, heat gain, water usage, slope and drainage patterns, and other elements inherent to the site.
  6. Encourage the protection and preservation of healthy plants that can meet the current and future needs of the site through development.
- b. *Planting requirements.* The required plants shall be based on different elements of the site according to table 24-8-1, subject to the applicability provisions of section 24-801.b.1 and 2.

| Table 24-8-1: Plant Requirements                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                              |                                                                                                           |                                                                                                                                                            |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Site Element                                                                                                                                                                                                                            | Trees                                                                                                                                                                                                                                                                                                        | Evergreen Trees                                                                                           | Shrubs                                                                                                                                                     |
| <b>Streetscape.</b> The landscape area in the ROW or along the lot line immediately abutting the right-of-way                                                                                                                           | 1 shade tree per 35' of lot frontage                                                                                                                                                                                                                                                                         | n/a                                                                                                       | n/a                                                                                                                                                        |
|                                                                                                                                                                                                                                         | Rights-of-way may with constrained planting areas may substitute 1 ornamental tree per 25' in place of the shade tree requirement.                                                                                                                                                                           |                                                                                                           |                                                                                                                                                            |
| <b>Frontage and Foundation.</b> The area between the building line and ROW along a street, including sides of corner lots, used to create transitions to the streetscape and to provide accents and soften larger expanses of buildings | 1 shade tree per residential lot or per 50' of nonresidential or multifamily lot frontage, if buildings are set back more than 10' (0' to 10' = no requirement)                                                                                                                                              | Evergreen trees may be substituted for shade trees at a rate of 1 for 1 for up to 50% of the requirement. | 4 shrubs per 25' of building foundation. 3 ornamental grasses or large perennials may be substituted for each shrub up to 50% of the requirement.          |
|                                                                                                                                                                                                                                         | Corner lots shall meet this requirement on street side lot lines at a rate of 50% of the frontage & foundation requirement. Ornamental trees may be substituted for shade trees at a rate of 1 for 1 if buildings are set back less than 25', or at a rate of 2 for 1 if buildings are set back 25' or more. |                                                                                                           | Seasonal planting beds or pots associated with the streetscape and entrance may substitute for any building located closer than 10' to the front lot line. |
| <b>Parking.</b> Areas on the exterior edge or interior of parking where plants are                                                                                                                                                      | 1 shade tree per 5 parking spaces.                                                                                                                                                                                                                                                                           | Evergreen trees may be substituted for shade trees at a rate of 2 for 1, for up to                        | 4 shrubs per 25' of parking lot exterior edge.<br>8 shrubs per 25' for                                                                                     |

|                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                            |                                                                                                                                                                                     |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>used to soften the appearance, mitigate heat gain, and infiltrate stormwater. <b>Also see section 24-704.</b></p>                                                      | <p>Ornamental trees may be substituted for shade trees at a rate of 2 for 1 for up to 50% of the requirement.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | <p>50% of the parking lot requirement.</p> | <p>any exterior edge within 20' of the right-of-way or a sidewalk.<br/>3 ornamental grasses or large perennials may be substituted for each shrub up to 50% of the requirement.</p> |
| <p><b>Perimeter Treatment.</b> Areas of a site that require additional plants to create transitions or mitigate potential impacts on streetscape or adjacent property</p> | <p>See section 24-802</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                                            |                                                                                                                                                                                     |
| <p><b>Civic and Open Spaces.</b> Areas of the site or area designed as part of a broader system of formal and natural open spaces</p>                                     | <p>See section 24-301</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                                            |                                                                                                                                                                                     |
| <p><b>Other.</b> All other unbuilt or unpaved areas of a site</p>                                                                                                         | <p>All other unbuilt or unpaved areas of a site shall require ground cover, perennials, grasses, rock, mulch, or other natural and permeable surfaces. <b>No bare earth is allowed.</b></p> <p>Up to 50% of any landscape area may consist of inorganic (non-living) decorative material such as river rock, colored pea gravel, boulders, pavers, or similar natural material, provided it is designed and arranged in a way that can infiltrate runoff through associated planting areas. <b>At least 50% must be living plant material.</b></p> <p>Artificial turf is <del>only</del> acceptable as ground cover <b>up to the 50% inorganic limitation.</b> <del>for areas not visible from public rights-of-way and streets.</del> Use of artificial turf in athletic fields and areas visible from public rights-of-way and streets, including front yards, is <del>and may be</del> subject to published design standards, engineering specifications, grading and drainage plans. An approved permit must be received prior to installation, and post-installation inspections may be required.</p> <p><b>Artificial turf and nonfunctional turf are not permitted on residential properties with more than four primary dwelling units on a single lot, commercial property, institutional property, industrial property, common interest community property, street, right-of-way, parking lot, median, or transportation corridor.</b></p> <p><del>Native grass or native grass seed shall be planted in detention and retention ponds and areas not highly trafficked by pedestrian activity.</del></p> |                                            |                                                                                                                                                                                     |



**Figure 24-8-1: Plant requirements and site elements.**

~~c. Credits for existing vegetation. Preservation of existing landscape material that is healthy and a desirable species may count towards these requirements, provided measures are taken to ensure the survival of the vegetation through construction, and all other location and design standards are met.~~

~~1. Landscape plans shall provide an inventory of all existing trees or significant woody vegetation including size, health, species, and any trees proposed to be removed.~~

2. Existing landscape credits shall only count towards the portion of the site where it is located, according to the site elements in table 24-8-1. For example, an existing tree may only count towards the required planting for parking lots if it remains in the parking lot in the final design.
3. Credits shall be on a one for one basis provided existing trees shall be at least three-inch caliper to count. The director may approve landscape material that is more than three times the size specified for new plants on a two for one basis, or may approve plants of exceptional quality due to species, location, maturity, and health on a three for one basis.
4. Trees or other existing landscape that contributes to the standard shall be identified on a landscape plan and protected by a construction fence installed for the entirety of construction around the tree protection zone (TPZ). The TPZ shall be based on ANSI A300 Standards and Best Practices but be at least 15 feet from the trunk of any tree and to the extent of the drip line in all cases. Tree wells or retaining walls may be necessary to protect existing plants.

c. *Measuring landscape material.* The following guidelines shall be used to measure areas covered in live plantings to ensure that landscape materials are measured as accurately and equitably as possible. For the purpose of determining what portion of a lot or right-of-way is landscaped with live plantings other than turf, Table 24-8-2 Vegetation Credit Table provides square footage credit for various types of plants.

1. The calculation for trees should meet the planting requirements per Table 24-8-1 Plant Requirements.
2. No landscaped area shall be used for commercial display, storage purposes and/or parking of vehicles.
3. Weeds or bare dirt are not an allowed ground cover or landscape material either on-lot or in the right-of-way.

**Table 24-8-2 Vegetation Credit Table.**

| Type of Plant Material                                                                                | Credit in Square Feet |
|-------------------------------------------------------------------------------------------------------|-----------------------|
| Large shrub (more than 8 ft tall at maturity)                                                         | 50                    |
| Medium shrub (4-8 ft tall at maturity)                                                                | 25                    |
| Small shrub (less than 4 ft tall at maturity) and Large ornamental grass (over 4 ft tall at maturity) | 10                    |
| Perennial plant, groundcover and small ornamental grass (less than 4 ft tall at maturity)             | 5                     |

- d. *Protection and replacement of existing vegetation.* Preservation of existing landscape material that is healthy and a desirable species may count towards these requirements and is a priority to maintain the urban canopy, provided measures are taken to ensure the survival of the vegetation through construction, and all other location and design standards are met.
4. Landscape plans shall include an inventory of all existing trees or significant woody vegetation including size (dbh), health (good, fair, poor), species and any trees proposed to be transplanted, protected or removed. This inventory will include a supplemental watering schedule for all trees identified for protection and will be performed by an International Society of Arboriculture Certified Arborist. The supplemental watering schedule shall be included in the landscape plans.

5. All tree protection measures shall be based on ANSI A300 (Part 5) – Standards and Best Management Practices. All trees identified for protection shall be protected by a construction fence installed for the entirety of construction around the Tree Protection Zone (TPZ). Tree wells or retaining walls may be necessary to protect existing plants.
6. Existing healthy trees and shrubs shall be preserved and incorporated into the overall site and landscape design to the maximum extent practicable. Existing or transplanted trees may be credited toward minimum tree planting requirements as follows:
  - a. Existing healthy trees may be credited toward tree planting requirements of this Section according to the Tree Credit/Debit Table in table below. Tree credits shall be given as long as all other provisions and the intent of this Code are met. Fractional caliper measurements shall be attributed to the next lowest category.
  - b. The monetary value of tree transplanting can be applied towards mitigation requirements. Trees can be transplanted on site or on nearby publicly owned property. A transplanting schedule shall be developed and coordinated with the City of Greeley.
  - c. No credit shall be given for existing preserved trees which are:
    - i. Not located on the actual development site.
    - ii. Not properly protected from damage during the construction process.
    - iii. Not listed in a tree mitigation plant legend, separate from the general plant legend.
    - iv. Trees or plants listed in the State of Colorado Noxious Weed List.
7. All trees to be removed from a multi-family (more than four [4] units), institutional, commercial, industrial or mixed-use property, whether on-lot or in the right-of-way must be replaced on-lot or in the right-of-way, as appropriate, unless otherwise stated in this Chapter.
8. New trees that are designed into the landscape plans to meet mitigation criteria shall be additionally called out with an “M” on the design and in the tree mitigation plant legend. Existing trees proposed for transplanting will be called out with a “T” in the design and in the tree mitigation plant legend.
9. Cash in lieu shall be paid to the City for trees to be removed that cannot be replaced on-lot or in the right-of-way due to site constraints or overcrowding of landscaping based on the Tree Credit/Debit Table. Cash in lieu shall be determined by a cost estimate based on a schedule maintained by the Planning Division for labor and materials of trees meeting the minimum size requirements.
10. A permit to remove or install any tree, hard surface or other permanent improvement in the public right-of-way shall be obtained from the City prior to the commencement of the removal or installation within the right-of-way.

**Table 24-8-3 Tree Credit/Debit Table.**

| Caliper at 4½ Feet Above Ground | Number of Tree Credits/Debits |
|---------------------------------|-------------------------------|
|---------------------------------|-------------------------------|

|                    |                  |
|--------------------|------------------|
| 20+ inches         | equal to 4 trees |
| 13—19 inches       | equal to 3 trees |
| 8—12 inches        | equal to 2 trees |
| 2—7 inches         | equal to 1 tree  |
| Less than 2 inches | equal to ½ tree  |

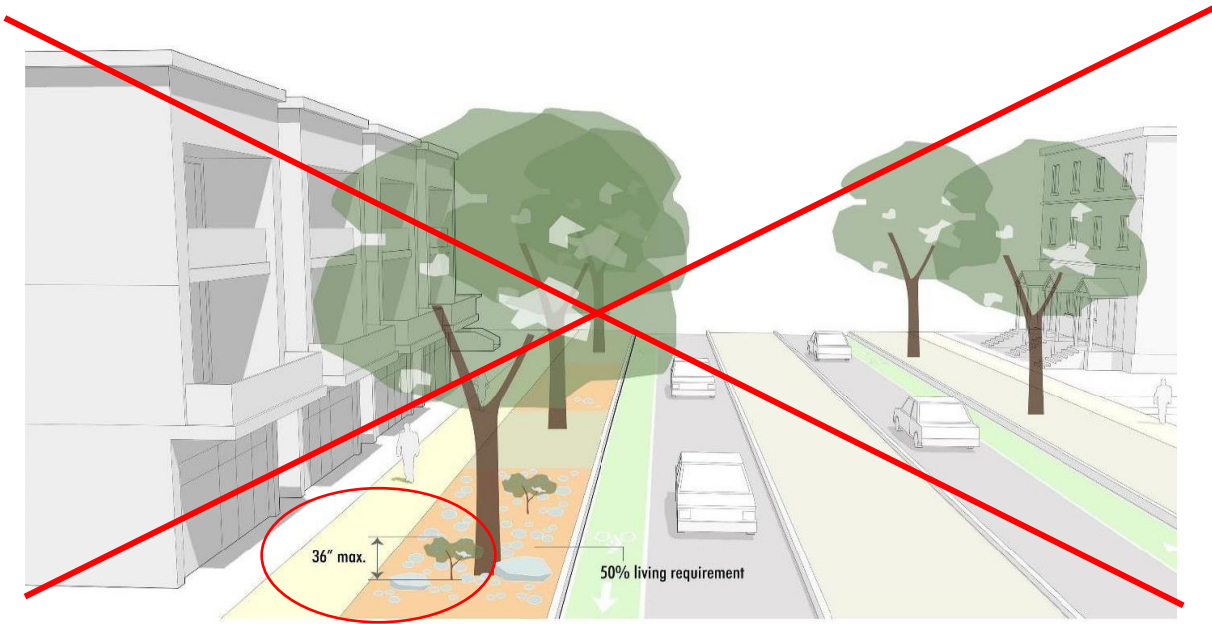
e. *Design and location.* The plants required by table 24-8-1 shall be arranged and designed on a particular site in a way that best achieves the intent and design objectives of this chapter, considering the specific context, street frontage, property adjacencies, and other elements proposed on the site. Required plantings shall be planted in the following specific locations and open spaces on the lot.

1. *Streetscape trees.* Streetscape trees shall be located in line with other trees along the block to create a rhythm along the streetscape and enclosure of the tree canopy. In the absence of a clearly established line along the block, trees may be planted in the following locations where applicable and in order of priority:

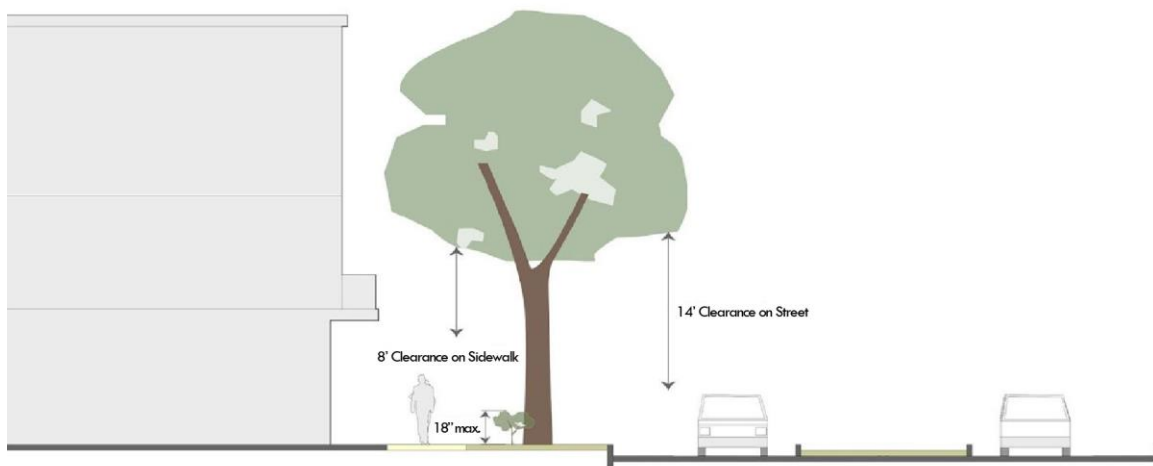
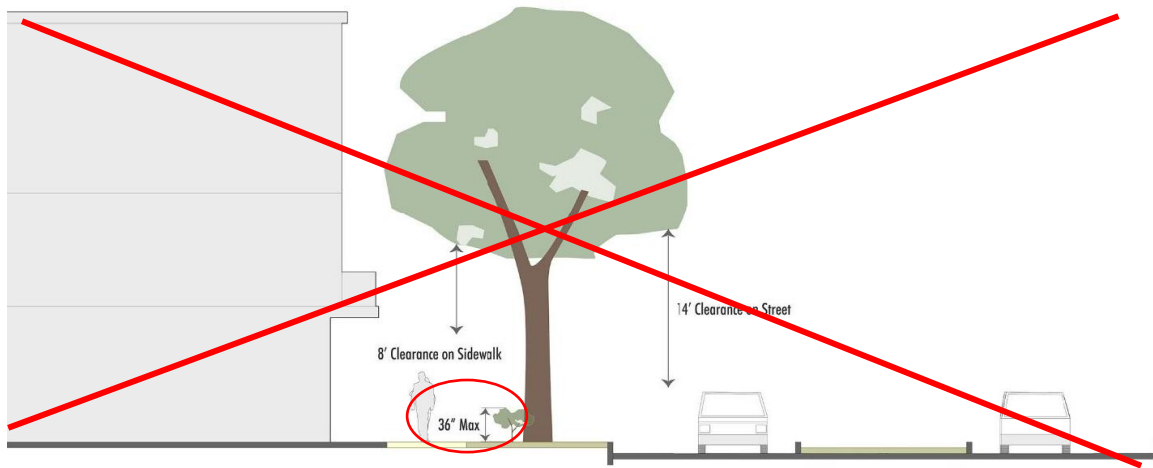
- (a) On center in the parkway where at least six feet of landscape area exists;
- (b) Five to ten feet from the back of curb where no sidewalk exists or five feet from the sidewalk where sidewalks are attached and no parkway exists; or
- (c) Within the first five feet of the front lot line where any constraints on the lot or in the right-of-way would prevent other preferred locations.
- (d) Ornamental trees may be substituted for street trees only in situations where no other alternative is available due to constraints of the site and right-of-way conditions.
- (e) Trees shall maintain a clearance of at least eight feet above any sidewalk and at least 14 feet above any street or similar vehicle access way.
- (f) Plantings in the parkway shall not exceed 18 inches in height.
- (g) Evergreen trees shall not be located in the public right-of-way unless prior written approval has been obtained by the Public Works Director or designee.
- (h) When the applicant presents evidence that the placement of trees and/or shrubs as required in this Chapter would not be practical or feasible, a portion of the trees and shrubs may be located in alternative locations on the same lot, subject to approval by the Community Development Director or designee. If required trees or shrubs cannot be located on-lot due to site constraints, the applicant shall pay to the City cash in lieu of the required plantings based on a schedule maintained by the Planning Division for the cost of labor and materials.



**Figure 24-8-2: Streetscape and Parkway landscape.**



**Figure 24-8-3: Streetscape — Pedestrian frontages.**



**Figure 24-8-4: Tree clearance — Pedestrian frontage.**



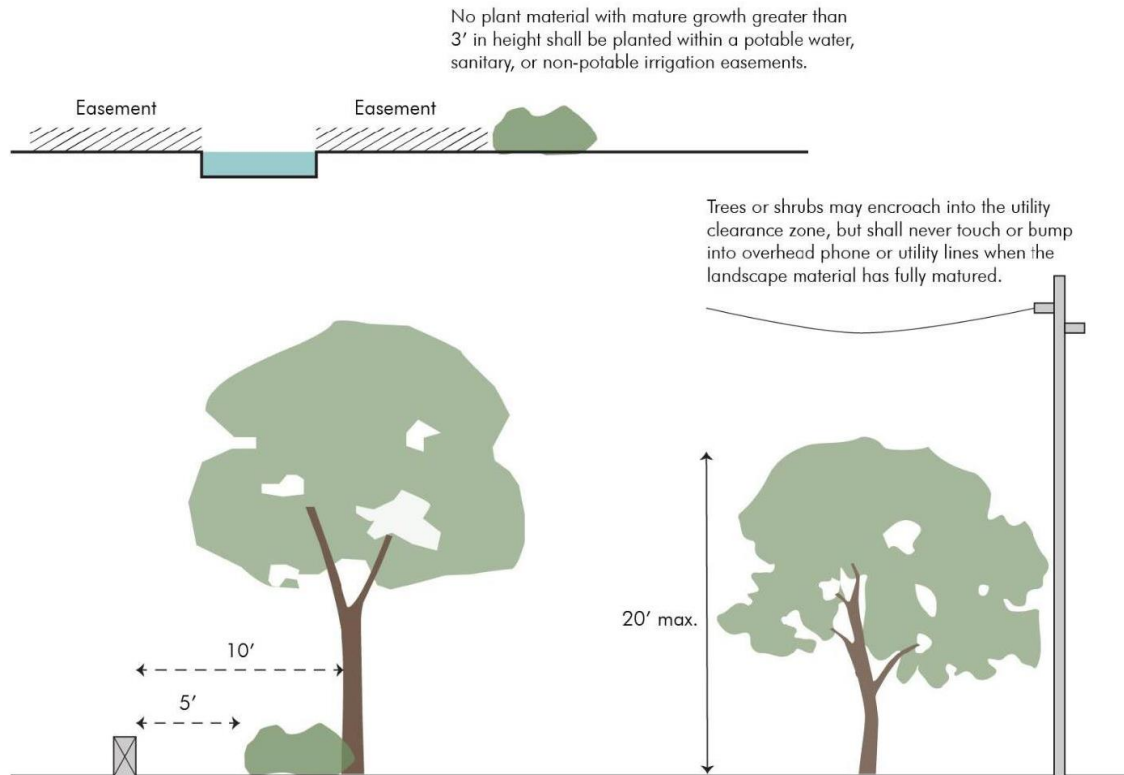
**Figure 24-8-5: Streetscape — Residential frontages.**



**Figure 24-8-6: Tree clearance — Residential frontage.**

2. *Frontage and foundation plantings.* Frontage and foundation plantings shall be located in open spaces between the building and the right-of-way or in planting beds associated with any hardscape design along the building frontage.
  - (a) Where the building setback requires additional shade trees per table 24-8-1, they shall be coordinated with the streetscape planting locations and located at least 20 feet from any streetscape tree.
  - (b) Shrubs and other plantings shall be located within eight feet of the foundation, or abutting any sidewalk or hardscape areas along the foundation.
  - (c) Where planting beds are used within hardscape around a foundation, they should be at least six feet deep, at least 80 square feet, and concentrated along at least 50 percent of the building frontage.

- 
- (d) Use larger and vertical landscape elements to frame entrances, anchor the corners of buildings, or break up and soften larger building expanses. Ornamental and evergreen trees shall be located within 20 feet from the building to support this design objective.
3. *Parking lot landscape.* Parking lot landscape requirements shall be planted along the exterior edge and landscape islands planned and designed according to section 24-704.
- (a) There shall be at least one shade tree per 35 feet of parking lot exterior edge, or one ornamental tree per 25 feet of exterior edge.
  - (b) There shall be at least one shade tree or two ornamental trees per 300 square of parking lot islands or other internal landscape areas.
  - (c) Shrubs shall be located to define parking lot edges, screen parking from adjacent sites, or create low barriers along sidewalks and streetscapes. The required shrubs may be reduced by 50 percent when used in combination with a decorative fence or wall between 30 and 42 inches tall that complements the architecture of the building or other hardscape features of the site.
4. *Visibility at intersections.* All landscape materials, screens, or buffers shall be located and designed to maintain proper line of sight at all intersections of streets, alleys, driveways, and internal access streets as provided in section 24-301.d.2.
5. *Specific applicability.* Where landscape standards for different conditions or elements of a site overlap, effective site and landscape design may enable the space and plants to count toward more than one requirement. Approval shall be based on the greater requirement applicable to that area, and subject to the director determining that the intent and design objectives of this section are achieved.
6. *Utility line clearance zones.*
- (a) Landscaping shall not obstruct or grow into fire hydrants, water meter pits, public traffic signs, sidewalks, or utility boxes except to comply with the requirement to screen mechanical equipment, pursuant to section 24-803.d.
  - (b) No plant material with mature growth greater than three feet in height shall be planted within potable water, sanitary, or non-potable irrigation easements.
  - (c) No shrubs shall be planted within five feet or trees within ten feet of potable and non-potable water meters, fire hydrants, sanitary sewer manholes, or potable water, sanitary sewer, and non-potable irrigation mains and services.
  - (d) Landscapes must adhere to terms provided by easements.
  - (e) Trees or shrubs may encroach into the utility clearance zone but shall never touch or bump into overhead phone or utility lines when the landscape material has fully matured. Shorter ornamental trees with a maximum height of 20 feet are typically acceptable but shall follow service provider guidelines.
  - (f) Placement of landscape materials that are determined to produce pollutants that may negatively affect the quality of stormwater runoff shall not be permitted near drainage, stormwater detention, or 100-year floodplain areas.



**Figure 24-8-7: Utility line clearance zones.**

- f. *Alternative compliance.* Alternative compliance to the landscape design standards in this section may be authorized according to the process and criteria in section 24-208, and the following additional criteria:
1. Properties that include large monumentation, artwork, architectural hardscape, or other similar civic spaces, and that locate them in a manner that reduces the impact or perceived extent of surface parking, may request up to 25 percent reduction in parking lot or frontage and foundation landscape requirements.
  2. Parking lots that include bio-retention areas greater than 1,000 square feet, or that otherwise use design strategies that cleanse and infiltrate parking lot runoff may request up to 25 percent reduction in parking lot landscape requirements.

(Ord. No. 36, 2021, § 3(app. A, § 3), 9-21-2021)

## **Sec. 24-803. Perimeter landscape and screening.**

- a. *Design objectives.* Intense land uses or site elements shall use perimeter landscape to transition or separate from streetscapes and adjacent property according to the following design objectives:
1. Areas of parking or circulation near streets or property lines require physical barriers or landscape transitions to reduce impacts of surface parking areas and provide low-level headlight screening.

2. Areas that transition to different uses or building scale require landscape areas to soften transitions or screen and buffer potentially incompatible transitions with a combination of dense vegetation or fences and walls compatible with the buildings on the site.
3. Service and utility areas of buildings and sites shall be screened with architectural features, fences, or landscape materials to limit visibility or noise from adjacent property or streetscapes.
4. Berms, vertical landscape elements, dense plantings, or other grade or spatial changes shall be used to alter views, subdue sound, mitigate lighting, and change the sense of proximity of high-intensity elements of a site or building in relation to adjacent property and public rights-of-way.
5. Create landscape clusters that soften long expanses of building walls, fences, surface parking, or other similar areas.
6. Address layers of screens, including shade trees (high layer — 30'+); evergreen or ornamental trees (mid-layer — 6' to 30'); and shrubs, annuals and perennials, and ground cover (low layer — under 6'), in a way that most directly mitigates the potential impacts and adjacencies.

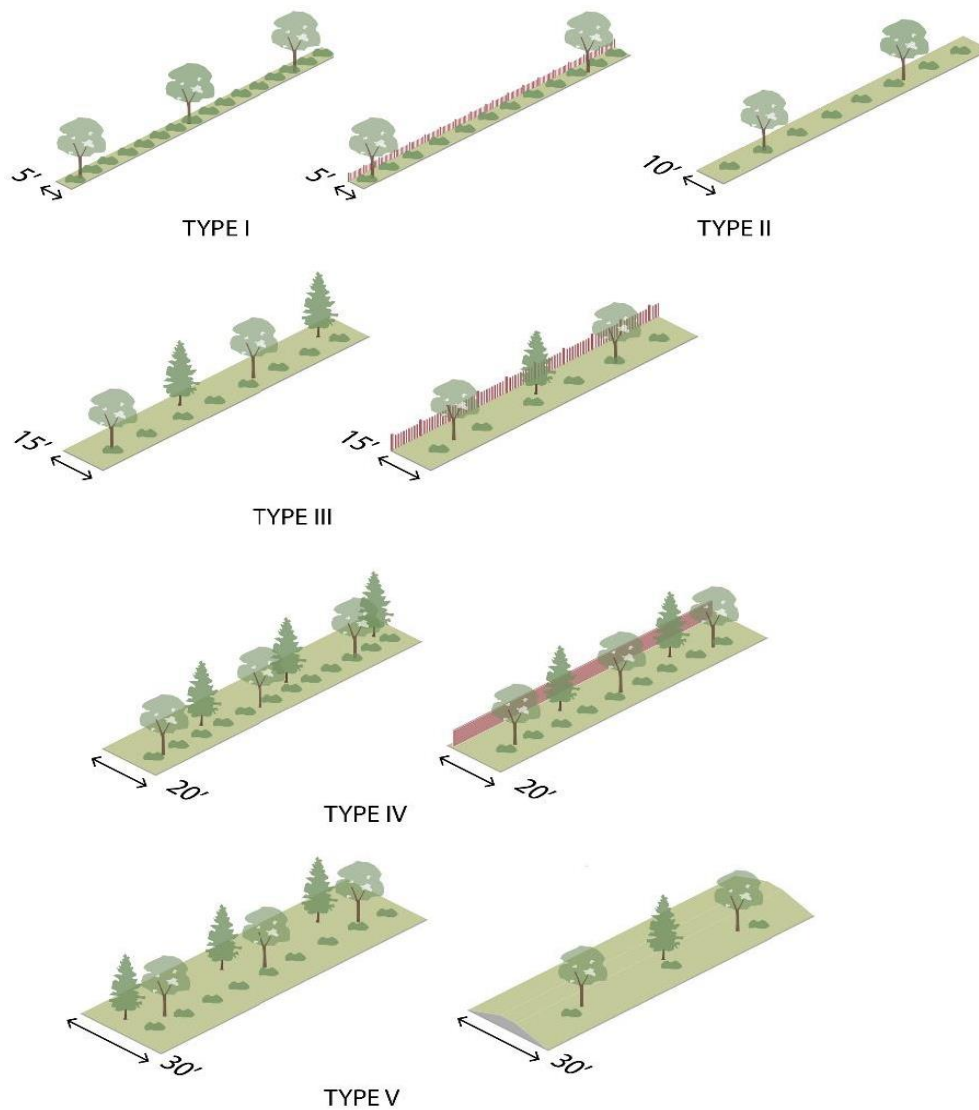


**Figure 24-8-8: Planting layers.**

- b. *Perimeter planting.* The planting requirements in table 24-8-2 shall be used to create transitions or to buffer and screen more intense uses or elements of a site, according to the design objectives of this section. The perimeter width exists independent of and may include any setback, parking edge or other open space requirements, and whichever width is greater and whichever planting requirement is greater for each type of plan will control.

| Table 24-8-4: Perimeter Design                                                                         |       |                                          |           |        |
|--------------------------------------------------------------------------------------------------------|-------|------------------------------------------|-----------|--------|
| Perimeter Type & Application:                                                                          | Width | Plant Requirements (per 100 linear feet) |           |        |
|                                                                                                        |       | Trees                                    | Evergreen | Shrubs |
| <b>Type I</b> — Applied where any parking is within 20' of the right-of-way or along a public sidewalk | 5'    | 3                                        | n/a       | 32     |

|                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                          |     |   |     |    |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----|---|-----|----|
| <b>Type II</b> — Applied to:<br>Medium to low, and high to medium land use transitions<br>Perimeter of residential projects along collector streets; or perimeter of commercial and industrial projects along collector or arterial streets |                                                                                                                                                                                                                                                                                                                                                          | 10' | 2 | n/a | 16 |
| <b>Type III</b> — Applied to:<br>Very high to high land use transitions<br>Perimeter of residential projects on arterial streets; or perimeter of commercial or industrial projects along highways, expressways, or freeways                |                                                                                                                                                                                                                                                                                                                                                          | 15' | 2 | 2   | 16 |
| <b>Type iv</b> — Applied to:<br>High to low, and very high to medium land use transitions                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                          | 20' | 3 | 3   | 24 |
| <b>Type V</b> — Applied to perimeter of residential projects along highways, expressways, or freeways                                                                                                                                       |                                                                                                                                                                                                                                                                                                                                                          | 30' | 3 | 3   | 36 |
| <b>Design Details &amp; Alternatives:</b>                                                                                                                                                                                                   | Shrub amounts may be reduced by 50% along ROW where a property fronts on the street; or be designed according to the frontage standards in section 24-503.c and 24-603.c<br>All landscape requirements may be reduced by 25% if used in combinations with decorative walls and fences meeting applicable fence standards or with berms meeting 24-803.f. |     |   |     |    |



**Figure 24-8-9: Perimeter design.**

- c. *Perimeter locations.* Perimeter landscape required in table 24-8-2 shall generally be located based on the land use intensity in table 24-8-3. Perimeter landscape shall be required on lots of the more intense level of development. However, perimeter landscape may be required on lots of lower intensity in association with the platting process when located near existing higher-intensity uses.

| Table 24-8-5: Perimeter Application |                                                                                                                                                                                                                                                                                                           |
|-------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Intensity                           | Land Use                                                                                                                                                                                                                                                                                                  |
| Low-intensity use                   | <ul style="list-style-type: none"> <li><i>Residential:</i> detached house, multi-unit house, row house, and small-lot apartment building types</li> <li><i>Institutions:</i> churches, schools, public facilities including recreation fields, community swimming pools and similar facilities</li> </ul> |

|                                |                                                                                                                                                                                                                                                                                                                                                                                                                                           |
|--------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|                                | <ul style="list-style-type: none"> <li>• <i>Commercial</i>: offices, day care, and similar non-retail services 2 stories or less.</li> </ul>                                                                                                                                                                                                                                                                                              |
| <b>Medium-intensity use</b>    | <ul style="list-style-type: none"> <li>• <i>Residential</i>: medium-lot apartment, large-lot apartment, or apartment complexes</li> <li>• <i>Commercial</i>: neighborhood retail (under 3K s.f.), or office uses (3 stories or more); neighborhood service uses (non-drive-up service), or similar uses that typically do not operate between 10:00 p.m. and 7:00 a.m.</li> </ul>                                                         |
| <b>High-intensity use</b>      | <ul style="list-style-type: none"> <li>• <i>Commercial</i>: general commercial uses that may be larger scale (over 3K), higher intensity (repair shops, gas stations, or drive-up services), or similar uses that typically operate beyond 10:00 p.m.</li> <li>• <i>Industrial</i>: light manufacturing and research facilities</li> <li>• Any other commercial or industrial use under 3,000 square feet of gross floor area.</li> </ul> |
| <b>Very high-intensity use</b> | <ul style="list-style-type: none"> <li>• <i>Commercial</i>: Commercial uses with outside sales or storage; outside commercial recreation; vehicle or heavy equipment sales and storage</li> <li>• <i>Industrial</i>: heavy industrial and manufacturing uses</li> <li>• Other commercial or industrial properties typically greater than 20,000 square feet gross floor area.</li> </ul>                                                  |
| <b>Oil &amp; gas</b>           | <ul style="list-style-type: none"> <li>• Reductions to perimeter landscape requirements for oil and gas sites located in non-urbanized areas may be approved by the director on a case-by-case basis, considering the context of the site and long-term anticipated development patterns in the area.</li> </ul>                                                                                                                          |



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**Figure 24-8-10: Perimeter treatment along differing land uses.**

- d. *General screening.* All of the following shall be screened from rights-of-way and adjacent property by placement of buildings or open space, dense evergreen vegetation, a decorative solid fence or wall complementing the architectural details and materials of the building, or a combination of these screening strategies. Where the design of the building, frontages, open space, buffers, and other site requirements do not adequately screen these elements, the director may require additional planting to achieve the design objectives of this section.
  - 1. Electrical and mechanical equipment such as transformers, air conditioners, or communication equipment and antennas whether ground-, wall- or roof-mounted.
  - 2. Permanent or temporary outdoor storage areas.
  - 3. Trash enclosures.
  - 4. Utility stations or fixtures.
  - 5. Delivery and vehicle service bays, except that bays do not need to be screened from adjacent property with the same or more intense zoning.
  - 6. Large blank walls visible from public streets, public or common areas or other sensitive boundaries in association with the buffer standards.
  - 7. Nonresidential parking lots, or multifamily parking lots over ten spaces, adjacent to residential lots.
- e. *Alternative compliance.* Alternative compliance to the perimeter landscape standards in this section may be authorized according to the process and criteria in section 24-208, and the following additional criteria:
  - 1. Projects with vegetative water quality ponds, bioswales, or prominent native or xeric landscape designs that lead to better water resource management and improved water quality may request up to a 25 percent reduction in the landscape materials.
  - 2. Projects that incorporate improved civic spaces and streetscapes beyond those required by the subdivision standards or development standards, and which provide active gathering places on the site with seating, public art, or other enhanced architectural hardscape and amenities, may request up to a 25 percent reduction in the perimeter landscape standards.
  - 3. Projects that retain significant amounts of existing trees, plant or animal habitat, or other natural areas, and which result in improved aesthetic or environmental performance, may request up to a 25 percent reduction in the perimeter landscape standards.
  - 4. Areas where a compatible mix and relationship of different land uses is better achieved through the enhanced design of buildings, streetscapes, and civic spaces, and where it results in a compact, walkable pattern may request a waiver of the perimeter standards.

(Ord. No. 36, 2021, § 3(app. A, § 3), 9-21-2021; Ord. No. 7, 2023, app. A(24-803), 2-21-2023)

## **Sec. 24-804. Plant specifications.**

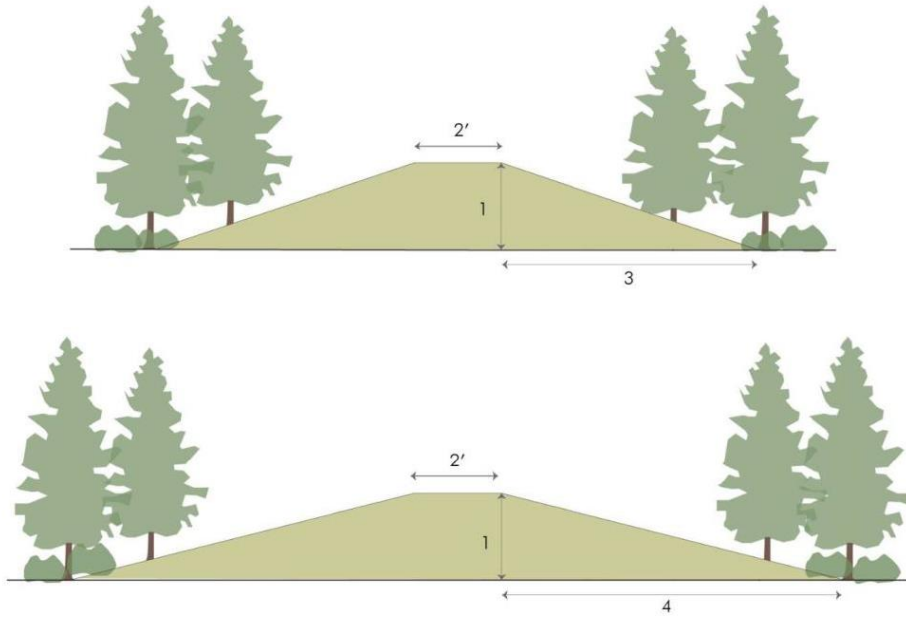
- a. *Design objectives.* The plant specifications have the following design objectives:
  - 1. Ensure the longevity and survival of landscape investments with proper species, location, installation, and maintenance of plants.
  - 2. Promote regionally appropriate strategies, including limiting the risk of disease or infestation through diversity of urban forest materials on an area- or city-wide basis.

3. Establish minimum standards that balance immediate conditions with reasonable long-term growth and performance of landscape plans.
  4. Require water-efficient strategies in terms of the water needs of landscape plans, and the continued operations and maintenance of sites.
- b. *Species.* All trees and shrubs shall be selected and planted according to Greeley's official landscape manual. In addition to any species on these lists, alternatives may be proposed and approved as part of the site plan provided they:
1. Are documented by a landscape architect or other credible information comparable in type and performance to any species on this list;
  2. Are adaptable to the climate of the front range region and the specific conditions in which they are proposed; and
  3. Are not invasive or otherwise problematic to the overall health of the landscape.
- c. *Plant specifications.* All landscape materials shall be healthy at the time of planting and be selected for their native characteristic or survival in the climate for the front range region. Species, specifications installation, and maintenance shall otherwise be according to American National Standards Institute (ANSI) standards. Plants shall meet the following specifications at planting:

| Table 24-8-6: Plant Specifications |                                                                                                                                                           |
|------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------|
| Type                               | Specification                                                                                                                                             |
| Tree (large, shade)                | 2" DBH; mature height of 30'+                                                                                                                             |
| Ornamental tree                    | 1.5" DBH; 8' to 10' minimum planting height for multi-stemmed; mature height 15'—25'                                                                      |
| Evergreen tree                     | 6' minimum planting height; mature height of 10'+; evergreens with mature heights of 20' or more may be classified as large trees.                        |
| Shrub                              | Volume #5 (ANSI Standards)                                                                                                                                |
| Perennials                         | Volume #1 (ANSI Standards); Volume #2 (ANSI Standards) if substitution for shrubs                                                                         |
| Ground cover                       | Areas designed for vegetative cover shall have 50% ground cover at the time of planting and full coverage within 2 growing seasons                        |
| General                            | Plants used for screening and buffers shall achieve the required opacity and function in its winter seasonal conditions within 2 years following planting |

- d. *Xeric guidelines.* Projects that incorporate xeric planting design in streetscapes, outlots, and common open space areas, may request a raw water reduction subject to review and approval by the water and sewer department. Landscape plans are recommended to conserve water with landscape materials and design techniques using the following xeric principles:
1. Reduce water demand by grouping plants with similar water requirements together. Water-efficient, drought-tolerant, pollinator gardens and xeric landscaping are encouraged to be planted together to promote water conservation.
  2. Limit high-irrigation turf and plantings to appropriate high-use areas with high visibility and functional needs, and use water-efficient or drought-tolerant grasses.

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3. Use drought-tolerant plants suitable to the region, with low watering and pruning requirements.
  4. Incorporate soil amendments and use of organic mulches that reduce water loss and limit erosion. All plant areas shall install soil amendments as required by the water and sewer department's adopted criteria.
  5. Install efficient automatic irrigation systems that incorporate water conservation measures, including spray heads for ground cover, drip irrigation for shrubs and trees, and high-efficiency or precision nozzles. Provide regular and attentive maintenance to ensure irrigation systems are functioning properly.
  6. Alternative sources of irrigation for all landscape areas is encouraged.
- e. *Installation and maintenance.* All landscape plans shall include installation specifications, method of maintenance including a watering system and statement of maintenance methods.
1. The developer, owners' association, property owner and/or tenant, shall be responsible for maintaining all on-lot plantings, right-of-way landscaping, or other landscaping in common areas.
  2. All elements of an approved landscape plan including plant materials shall be considered elements of the project in the same manner as parking, buildings or other details.
  3. Prior to the installation of turf-grass and/or other plant materials in areas that have been compacted or disturbed by construction activity, such areas shall follow soil amendment procedures pursuant to title 20 of this Code and the water and sewer lawn installation specifications.
  4. Installed landscape material may be inspected periodically throughout the life of a development.
  5. Plant material that fails to grow within a three-year period from the certificate of occupancy or which exhibits evidence of insect pests, disease, and/or damage shall be appropriately treated, and any plant in danger of dying is considered a violation of the site plan approval. The director may order that the plants be removed and replaced, or otherwise enforce this as a violation of this code.
- f. *Berms.* Where earthen berms are used as part of the buffer or screen requirements, they shall meet the following specifications:
1. Berms shall have a slope not exceeding a horizontal to vertical ratio of no less than 3:1 ratio to no greater than a 4:1 ratio for turf-grass mowing, and must have a crown width of at least two feet.
  2. All berms, regardless of size, shall be stabilized with grasses, especially at the crown.
  3. Berms proposed to be placed along street rights-of-way shall be designed and constructed to provide adequate sight distances at intersections and shall not impair the safe operation of vehicles.



**Figure 24-8-11: Earthen berms.**

- g. *Stormwater treatment.* Landscape amenities that incorporate stormwater treatment are recommended. Techniques such as bioswales, water quality ponds, and rain gardens should be used to infiltrate runoff from parking lots, streets, civic spaces, and other impervious surfaces. Native grass or native grass seed shall be planted in detention and retention ponds and areas not highly trafficked by pedestrian activity. Landscape areas that are part of the stormwater system shall adhere to the storm drainage design criteria and construction specifications and the Urban Design Criteria Manual.



**Figure 24-8-12: Bio-retention facilities.**

- 
- h. *Irrigation systems.* All major and minor development shall have an automatic irrigation system for all landscape areas, meeting the requirements of the storm drainage design criteria and construction specifications, and including the following:
1. Irrigation systems for major development shall require review and approval by the water and sewer department.
  2. Irrigation systems shall be designed and maintained to minimize overspray and runoff onto adjacent impervious surfaces, such as roadways, sidewalks, and parking lots.
  3. Trees, shrubs, and plantings in bed areas, such as landscape islands, shall be designed to group plants with similar water requirements and be irrigated by drip, bubbler systems, low volume spray heads and/or subsurface irrigation systems.
  4. A temporary irrigation system is only allowed where native grass has been installed on an undeveloped lot or part of a developed lot, an outlot, or retention or detention pond. Plants shall be established within three to four growing seasons and shall comply with the re-vegetation standards as provided in the storm drainage design criteria and construction specifications. After native grass is established, the temporary irrigation must be removed within three months after establishment is complete.
  5. An irrigation audit shall be required following the installation of the irrigation system.
  6. The director may waive the requirement for irrigation systems for minor development or to facilitate infill development or redevelopment of existing sites without irrigation.
- i. *Alternative compliance.* Alternative compliance to the plant specification standards in this section may be authorized according to the process and criteria in section 24-208, and the following alternative criteria:
1. Projects with vegetative water quality ponds, bioswales, or prominent native or xeric landscape designs that will lead to better water resource management and improved water quality may request equal or better alternates to the specifications in this section.
  2. Projects that include plantings with demonstrated superior survival rates in the front range climate, or which have reduced maintenance may request equal or better alternates to the specifications in this section.

(Ord. No. 36, 2021, § 3(app. A, § 3), 9-21-2021; Ord. No. 7, 2023, app. A(24-804), 2-21-2023)

**Secs. 24-805—24-900. Reserved.**



# Landscape Criteria Update

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**Don Threewitt, AICP | Deputy Director**  
**Planning Commission Work Session – 02/11/2025**



# Agenda



- Background Information
- Primary Code Updates:
  - Artificial Turf
  - Landscape Preservation & Mitigation
- Existing Definitions, Criteria, and Code
- Proposed Code Updates
- Questions and Comments

# Background Information

- City Council Work Session October 2023: directive to allow artificial turf.
- SB24-005: Prohibit Landscaping Practices for Water Conservation
  - Prohibits local governments from allowing new nonfunctional turf, artificial turf, or invasive species on commercial, institutional, industrial, or common interest community property as well as on street rights-of-way, parking lots, medians, or transportation corridors.
  - Fully effective 01/01/26.
  - Residential properties up to a 4-plex and athletic playing fields are exempt from the prohibitions.
- Front range communities currently planning code updates in response to SB24-005: Fort Collins, Loveland, Longmont, Thornton
- Public Open House held on October 17, 2024.

# Existing Definitions:

## Chapter 8 – Landscape Standards



- **Artificial Turf:** Any of the various synthetic fibers made to resemble natural grass.
- **Ground cover:** Materials that typically do not exceed one foot in height used to provide cover of the soil in landscaped areas, which may include a combination of, but is not limited to, river rock, cobble, boulders, concrete pavers, grasses, flowers, low-growing shrubs and vines, and those materials derived from once-living things, such as wood mulch. In no event shall weeds be considered ground cover.
- **Lawn:** A stretch of open, turf-grass covered land; artificial turf shall not be considered lawn or turf-grass.
- **Maintenance of landscaping:** Regular watering, mowing, pruning, fertilizing, clearing of debris and weeds, removing and replacing of dead plants, and the repair and replacement of irrigation systems.

# Proposed Definitions:

## Chapter 8 – Landscape Standards



- **Functional Turf:** Turf that is located in a recreational use area or other space that is regularly used for civic, community, or recreational purposes, which may include playgrounds; sports fields; picnic grounds; amphitheaters; portions of parks; and the playing areas of golf courses, such as driving ranges, chipping and putting greens, tee boxes, greens, fairways, and roughs.
- **Nonfunctional Turf:** Turf that is not functional turf, including turf located in a street right-of-way, parking lot, median, or transportation corridor. Nonfunctional turf does not include turf that is designated to be part of a water quality treatment solution required for compliance with federal, state, or local agency water quality permitting requirements that is not irrigated and does not have herbicides applied.

Existing  
Artificial Turf  
Code:  
Chapter 8 –  
Landscape  
Standards

Table 24-8-1: Plant Requirements

- Artificial turf is only acceptable as ground cover for areas not visible from public rights of way and street and may be subject to other engineering specifications subject to grading or drainage plans.
- A minimum of 50% of any landscape area must consist of living plant material.
- This criteria applies to both Commercial and Residential applications.

| Table 24-8-1: Plant Requirements                            |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                 |        |
|-------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------|--------|
| Site Element                                                | Trees                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | Evergreen Trees | Shrubs |
| <b>Other.</b> All other unbuilt or unpaved areas of a site. | All other unbuilt or unpaved areas of a site shall require ground cover, perennials, grasses, rock, mulch, or other natural and permeable surfaces.<br>Up to 50% of any landscape area may consist of inorganic (non-living) decorative material such as river rock, colored pea gravel, boulders, pavers, or similar natural material, provided it is designed and arranged in a way that can infiltrate runoff through associated planting areas.<br>Artificial turf is only acceptable as ground cover for areas not visible from public rights of way and streets, and may be subject to other engineering specifications subject to grading or drainage plans.<br>Native grass or native grass seed shall be planted in detention and retention ponds and areas not highly trafficked by pedestrian activity. |                 |        |

# Existing Preservation & Mitigation Code: Chapter 8 – Landscape Standards

**Sec. 24-802.c: Credits for existing vegetation.** Preservation of existing landscape material that is healthy and a desirable species may count towards these requirements, provided measures are taken to ensure the survival of the vegetation through construction, and all other location and design standards are met.

- Requires an inventory of existing plants be provided.
- Existing landscape credits shall only count towards the portion of the site where it is located, according to the site elements in Table 24-8-1.
- Credits shall be on a one for one basis provided existing trees shall be at least three-inch caliper to count. The director may approve landscape material that is more than three times the size specified for new plants on a two for one basis, or may approve plants of exceptional quality due to species, location, maturity, and health on a three for one basis.
- Trees or other existing landscape that contributes to the standard shall be identified on a landscape plan and protected by a construction fence installed for the entirety of construction around the tree protection zone (TPZ).
- This criteria applies to all development applications.

# Proposed Additions

- Reintroduce 2021 Mitigation Requirements
  - Addresses challenges for maintaining urban canopy, replacement clarification and development requirements.
- Establishes credit table for existing mature trees.

# Existing City Programs for Landscape

| Share the Shade                                                  | Life After Lawn                                             | Educational Sessions                                        | Plants for Greeley                                          | Waterwise Landscaping                                       |
|------------------------------------------------------------------|-------------------------------------------------------------|-------------------------------------------------------------|-------------------------------------------------------------|-------------------------------------------------------------|
| <b>Forestry Division</b><br>(Culture Parks and Recreation Dept.) | <b>Water Conservation Division</b><br>(Water & Sewer Dept.) | <b>Water Conservation Division</b><br>(Water & Sewer Dept.) | <b>Water Conservation Division</b><br>(Water & Sewer Dept.) | <b>Water Conservation Division</b><br>(Water & Sewer Dept.) |

## Neighborhood Improvement Grants, Neighbor Labor, & Garden in a Box Programs

**Neighborhood Resource Office** (Community Development)

## Yard Maintenance/Overgrown Vegetation/Weeds/Landscaping Inspections

**Code Compliance** (Code Compliance) & **Planning** (Community Development)

# Proposed Artificial Turf Code Update

- Allow artificial turf in Residential front yards and yards visible from the public rights of way.
- Clarify the criteria to prohibit artificial turf for commercial, institutional, industrial, or common interest community property as well as on street rights-of-way, parking lots, medians, or transportation corridors per SB24-005.



# Options: Artificial Turf Code Update

- Option 1:  
Allow up to 25% artificial turf in front yard, subject to design standards, permitting, and inspection;
- Option 2:  
Allow artificial turf up to 50% in front yard, subject to City design standards, with permitting and inspection;
- Option 3:  
Allow artificial turf up to 50% in front yard, subject to City design standards, without permitting.



## **Next Steps: Schedule**

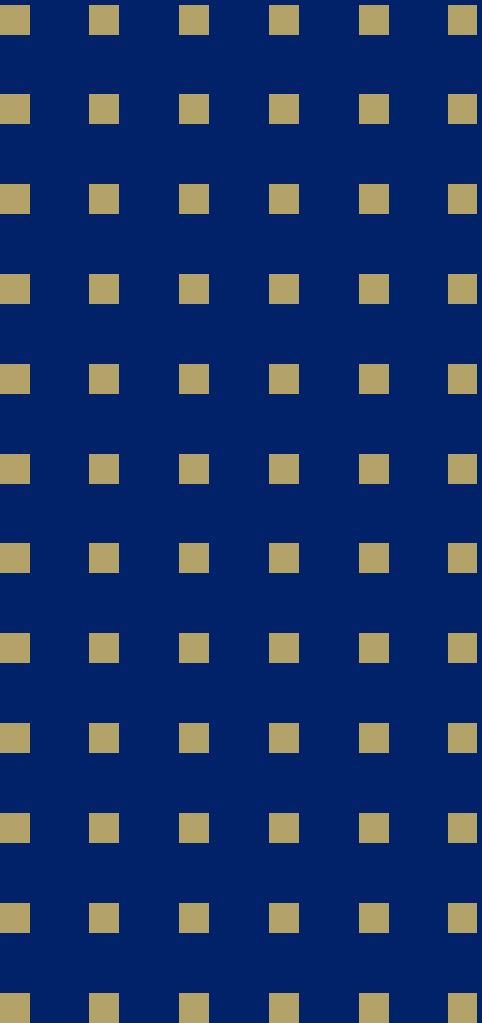
**City Council Work Session: 2/11/25**

**Planning Commission Work Session: 2/11/25**

**Planning Commission Recommendation: 2/25/25**

**City Council 1<sup>st</sup> Reading: 3/4/25**

**City Council 2<sup>nd</sup> Reading & Public Hearing: 3/18/25**

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# Thank you

Questions and Comments

