



Historic Preservation Commission Remote Meeting Instructions for June 7, 2021 Meeting

In order to comply with all health orders and State guidelines to stop the spread of the COVID-19 Coronavirus, **no physical location, including the City Council Chambers, will be set up for viewing or participating in this meeting.**

Citizen Participation During Hearing

Click the link below to join the virtual meeting. During the public hearing portion, use the Q&A or raised hand features at the bottom of the screen and you will be called upon to speak at the appropriate time.

<https://greeleygov.zoom.us/j/89026391628?pwd=L0xpVWdpc3lvd09hZXhBSHg5VlpsQT09>

Passcode: 121528

Livestream on YouTube:

View a live stream of the meeting on the City of Greeley YouTube channel

<https://www.youtube.com/CityofGreeley>.

Other options for sharing public comments:

E-mail – Submit to cd_admin_team@greeleygov.com

All comments submitted by e-mail will be read into the record at the appropriate points during the meeting in real time. Comments can be submitted up to and throughout the meeting.

Traditional Mail – Historic Preservation Commission, 1100 10th Street, Greeley, CO 80631

All written comments must be received no later than the day of the meeting. Written comments received by mail will also be read into the record in real time.

Visit the Historic Preservation Commission web page at <https://greeleygov.com/government/b-c/boards-and-commissions/historic-preservation> to view and download the contents of the agenda packet. You are also welcome to call the Planning office at 970-350-9780 if you have any other questions or require special accommodations to attend a virtual hearing.



Chair
Bob Brunswig

Vice-Chair
Christen DePetro

Commissioners
Doran Azari
Dan Podell
Laura Sattler
(Two Vacancies)

**A City Achieving
Community Excellence**

Greeley promotes a healthy, diverse economy and high quality of life responsive to all its residents and neighborhoods, thoughtfully managing its human and natural resources in a manner that creates and sustains a safe, unique, vibrant and rewarding community in which to live, work, and play.

Historic Preservation Commission Agenda

June 7, 2021 at 4:00 p.m.

This meeting will be conducted remotely. (See previous page for participation instructions and/or to view the YouTube livestream.)

- I. Call to Order & Roll Call
- II. Approval of Agenda
- III. Approval of May 17, 2021 Minutes
- IV. Public Input
- V. Public Hearing to Consider Certificate of Approval for Attic Dormer and Staircase Addition

Case Number: HPDR2021-0005

Applicant: Brent McHattie

Project Name: Attic Dormer and Staircase Addition

Project Address: 1308 9th Avenue

Case Planner: Elizabeth Kellums, Planner III – Historic Preservation

- VI. Commission Member Reports
- VII. Staff Report
- VIII. Adjournment

HISTORIC PRESERVATION COMMISSION MEETING DATES:

Meetings are held on the 1st and 3rd Mondays of the month at 4:00 p.m. Agendas are posted at <http://greeleygov.com/government/b-c/boards-and-commissions/historic-preservation>.

June 21, 2021

July 5, 2021 (cancelled/holiday)

July 19, 2021

August 2, 2021

August 16, 2021

September 6, 2021 (cancelled/holiday)

September 20, 2021

October 4, 2021

October 18, 2021

November 1, 2021

November 15, 2021

December 6, 2021

December 20, 2021

Historic Preservation Public Hearing Procedure

Public Hearing to...

1. Chair introduce public hearing item
2. Historic Preservation Staff report
3. Applicant Presentation
4. Commission questions
5. Chair opens public hearing
6. Chair closes public hearing
7. Applicant rebuttal
8. Commission discussion and vote

Roll Call

Chair Brunswick

Commissioner Azari

Commissioner DePetro

Commissioner Podell

Commissioner Sattler

Vacancy

Vacancy

City of Greeley, Colorado
HISTORIC PRESERVATION COMMISSION PROCEEDINGS
May 17, 2021

I. Call to Order and Roll Call

Chair Brunswick called the remote meeting to order at 4:00 p.m. via the City's Zoom platform.

The hearing clerk called the roll.

PRESENT

Chair Bob Brunswick
Commissioner Doran Azari
Commissioner Christen DePetro
Commissioner Dan Podell

ABSENT

Commissioner Laura Sattler

Two vacancies exist.

II. Acceptance of Agenda

Commissioner Azari moved to accept the agenda. Commissioner DePetro seconded the motion. Motion carried 4-0. (Commissioner Sattler was absent and there are two vacancies.)

III. Approval of May 3, 2021 Minutes

Commissioner Podell moved to approve the minutes dated May 3, 2021. Commissioner Azari seconded the motion. Motion carried 4-0. (Commissioner Sattler was absent and there are two vacancies.)

IV. Public Input

None.

V. Recognition of Peggy Ford Waldo and Her Contributions to Historic Preservation

The Commission recognized the late Peggy Ford Waldo for her contributions to historic preservation in Greeley, Weld County and northern Colorado. Ms. Waldo passed on May 12, 2021 and was a close friend to many on the Commission and in Greeley and the surrounding area. Elizabeth Kellums shared a PowerPoint presentation from Ms. Waldo's retirement celebration held in December 2020. Throughout the slideshow, Historic Preservation Commission members and others, including Sarah Saxe, JoAnna Stull, Elizabeth Kellums and Brad Mueller, shared their memories of Peggy. Peggy's husband, Rob Waldo, thanked

the Commission for their kind words and for the support that he and the family have received.

VI. Windows of Time Documentary

Ms. Waldo was instrumental in the creation of many of the Windows of Time documentaries created over the years. In her honor, Ms. Kellums presented the Windows of Time documentary about World War II German POW Camp No. 202 that was located west of Greeley.

Chair Brunswick recalled that when his father attended Kansas State University in Manhattan, Kansas, they resided in one of the Quonset huts that had been part of the WWII POW camp on the KSU campus.

Chair Brunswick announced that there are two vacancies remaining on the Commission and encouraged interested individuals to consider applying.

VII. Commission Member Reports

None.

VIII. Staff Report

Ms. Kellums reminded Commissioners to stop by the Planning office and sign resolutions for John Gifford and Scott McLean. She thanked Sarah Saxe, JoAnna Stull and Rob Waldo for sharing their thoughts during the recognition of Peggy Ford Waldo.

XI. Adjournment

With no further business before the Commission, Chair Brunswick adjourned the meeting at 4:53 p.m.

Bob Brunswick, Chair

Elizabeth Kellums, Secretary

HISTORIC PRESERVATION COMMISSION SUMMARY

ITEM: Certificate of Approval for Major Alteration

CASE NUMBER: HPDR2021-0005

PROJECT: Attic Dormer Addition and Exterior Staircase

LOCATION: 1308 9th Avenue

APPLICANT: Brent McHattie, property owner

CASE HISTORIC PRESERVATIONIST: Elizabeth Kellums

HISTORIC PRESERVATION COMMISSION HEARING DATE: June 7, 2021

HISTORIC PRESERVATION COMMISSION FUNCTION:

Review the proposal for compliance with Criteria and Standards for altering designated properties or contributing properties in an historic district in Article 4 of Chapter 8 of Title 24 of the City of Greeley Municipal Code, and approve or deny the request.

PROJECT OVERVIEW AND BACKGROUND:

Proposed Project

On May 14, 2021, property owner Brent McHattie submitted a complete application for a Certificate of Approval for addition of an attic dormer and exterior staircase at 1308 9th Avenue to the Historic Preservation Office. The applicant proposes to construct a dormer on the north side of the house, add a door into the dormer and install a steel staircase on the north side of the house from the dormer door leading to the back yard. The proposed project would meet the Development Code setback requirements, as it would not encroach in the five-foot side setback.

Please see the Application and Narrative for a Certificate of Approval (Attachment A), Architectural Drawings (Attachment B), Current Photographs (Attachment C) and the Existing Site Map (Attachment D).

Existing Conditions

This American Foursquare residence is a square-shaped, two-story frame structure with an asphalt shingle, low-pitched hip roof. Roof features include wide overhanging flared eaves, a wide frieze, finials, and hipped roof dormers located centrally on the front and rear faces of the roof. It has a rusticated stone foundation and lap siding exterior. The main entrance is located centrally on the west façade and features a four light transom. An open front porch features a

hipped roof, and paired Tuscan columns atop a low knee wall. Main façade windows are eighteen over one double hung with ornamental shutters and Classical architraves. The west dormer features a twelve-over-one double-hung window flanked by two smaller nine-over-one sashes. A brick chimney is located on the south façade near the front (west side) of the structure. A two-story projection extending from the north half of the east (rear) façade features a jetty and a rear entrance.

Background

The Historic Preservation Commission designated the Russell House at 1308 9th Avenue on the Greeley Historic Register in September 2005 for architectural and geographical significance. The Russell House also is a contributing property in the Monroe Avenue Historic District. The property is subject to review by the Historic Preservation Commission for major alterations and is subject to the Historic Preservation General Design Review Guidelines and the District Designation Plan for the Monroe Avenue Historic District.

SITE DATA:

Legal Description:	GR 5515 S50FT OF N132FT OF W150FT & W6FT OF E50FT OF S50FT OF N132FT L2 BLK104, City of Greeley, County of Weld, State of Colorado
Neighborhood:	Monroe Avenue Historic District
Designation:	Individually designated on the Greeley Historic Register; Contributing property in the Monroe Avenue Historic District
Year Property Built:	ca. 1907-08
Architectural Style/Type:	American Foursquare Type with Classical Revival style features
Zoning:	Commercial – High Intensity (C-H)
Dates of Significant Renovations:	Permit to add a 1.5 ton static ductless split; Owner: Brent McHattie; Contractor: A to Z Heating and Cooling; OTC1808-0043; 8/2/2018. Permit for creation of 450 square foot attic apartment; Owner and Contractor: Brent McHattie; BRX1807-0588; July 2018. Permit to replace furnace; Owner: Brent and Sara McHattie; Contractor: Airtech HVAC Services LLC; Permit #12100316; Date: 10/25/2012.

Certificate of Occupancy Approval: Timbersong Healing Arts; 1308 9th Avenue, Ste 1; Use of Building: Service; Zoning: C-4; Existing Conforming Structure and Existing Conforming Use; Date: 2/25/1998.

Certificate of Occupancy Approval: Kathleen E. Petersen; Use of Building: Service; Zoning: C-4; 10/12/1994.

Certificate of Occupancy Approval: The Hearth Company; Owner: The Hearth Co/Doug Thoreson; Use of Building: Conference Room; Zoning: C-4; Building Permit: 790318; 9/25/1979.

Permit to convert garage into conference room; Owner: The Hearth Co.; Contractor: Doug Thoreson; Permit #790318; Date: 6/13/1979; Final and CO issued date: 9/25/1979.

Permit to construct concrete block garage, 22'8" x 29'4"; Owner and contractor: Al Bachman; Permit #760115; Date issued: 4/5/1976; Final: 7/9/1976.

Sign Permit for Wood Pole Sign; Permit #790044; Date: 7/18/1979.

Permit to add a restroom; This permit is issued to rebuild a portion of residence, formerly used as closet space into a $\frac{3}{4}$ bathroom. Said work shall consist of adding a partition and door and lowering ceiling, plumbing by H & M and Elect by Hermdan; Contractor: Ray Murphy; Permit #650498; Date of application: 7/23/1965.

Property Survey for 1308 9th Avenue, 7/22/1961.

Source: Building Permit File and Greeley Historic Register property file for 1308 9th Avenue

KEY ISSUES AND ANALYSIS:

The proposed work is evaluated according to the relevant criteria for alteration of designated properties, defined in Section 24-956, as follows in the staff analysis. Only the applicable criteria and standards are listed.

City of Greeley Code, Section 24-956 Criteria and Standards

(a) Criteria and standards for alterations to a designated property or a property in a historic district are as follows:

1. The effect of the alteration or construction upon the general historical or architectural character of the designated property.
2. The architectural style, arrangement, texture and materials of existing and proposed construction, and their relationship to the other buildings.
3. The effects of the proposed work in creating, changing or destroying the exterior architectural features and details of the structure upon which the work shall be done.
5. The effect of the proposed work upon the protection, enhancement, perpetuation and use of the landmark or landmark district.
6. Compliance with the current Secretary of the Interior's Standards for Rehabilitation of Historic Properties as defined in Section 24-944.
8. Other requirements for alterations of a designated property or contributing property in a district as are required by the procedures and bylaws established by the Commission.

Secretary of the Interior's Standards for Rehabilitation

Standard #2: The historic character of a property shall be retained and preserved. The removal of original features or alteration of features and spaces that characterize a property shall be avoided.

Standard #9: New additions, exterior alterations, or related new construction shall not destroy original materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Standard #10: New additions and adjacent or related new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired. Design for alterations and additions to existing properties should not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood and environment.

Applicable Guidelines from the General Design Review Guidelines (and District Designation Plan for the Monroe Avenue Historic District)

New Alterations and Additions

When planning new alterations and additions, consider the effect on significant historic materials and features of the property. Loss of historic building fabric should be minimized. The addition should not affect the ability to perceive the historic character of

the building, especially from public ways, such as streets, alleys, and parks. Contemporary interpretation of the original structure is an appropriate alternative to a more replicative design. It needs to be compatible with the overall architecture but simplified in style and detailing and must appear newer.

33. *Minimize negative effects upon original materials and features when planning additions and alterations to a historic building.
Avoid obscuring or removing significant features to accommodate new additions and alterations.*
34. *Minimize negative technical effects upon original features.*
 - a. *Consider the technical impacts of new construction on a historic structure. For example a construction process may cause vibration that results in cracks in a historic masonry wall.*
 - b. *New alterations should be accomplished in such a way that they can be removed without destroying original materials or features.*
35. *Design additions to historic buildings so that original materials or features will not be destroyed or obscured.*
36. *Place additions at the rear of a building or set them back from the front to minimize the visual impact on the historic structure and to allow the original proportions and character to remain prominent*
 - b. *Locating an addition at the front of the structure is inappropriate.*
37. *Design additions and alterations to be compatible in size, scale, and appearance with the main building.*
 - a. *An addition or alteration should be visually subordinate to the main building.*
 - b. *An addition or alteration should be simpler than the original structure. For example, incorporate simplified versions of character defining elements of the original structure.*
 - c. *Use roof forms that are compatible with the original structure. The shape, pitch, and material should be similar to the original structure.*
 - d. *Maintain the solid-to-void (wall to opening) ratio of the original structure.*
38. *Use materials that are compatible with the primary structure.
In a district, materials similar to those of adjacent structures may also be considered.*
39. *Design additions and alterations to be recognized as products of their own time. Avoid new additions and alterations that hinder the ability to interpret the historic character of the building.*
 - a. *An addition or alteration should be both compatible in appearance with the original building and distinguishable as dating to a different time.*
 - b. *A change in setback of the addition from the main building, a subtle change in material, a differentiation between historic and more current style, or a date*

- plaque are all techniques that maybe considered to help differentiate old and new construction.*
- c. Use of nominal dimension lumber instead of full dimension lumber would be acceptable and appropriate for structures predating the use of nominal dimension lumber.*
 - d. An addition or alteration that creates an appearance inconsistent with the historic character of the building is inappropriate.*
 - e. An addition or alteration that implies an earlier period or more ornate style than that of the original building is inappropriate.*
- 40. Respect historic alignments when planning additions or alterations to buildings. Avoid placing an addition in a location where relationships of a structure to its site or adjacent structures is altered or obscured. For example, some roof lines and porch eaves may align at approximately the same height, and an addition should not hinder the ability to perceive this alignment.*
- 41. Respect traditional entrance patterns when planning additions to buildings.*
- a. Retain the appearance of primary entrances when planning new additions or entrances.*
 - b. Avoid obscuring original entrances.*

Staff Analysis:

The proposed dormer and attic staircase project complies with the applicable criteria and standards for the following reasons:

The proposed addition of a dormer and staircase would have a slightly adverse impact on the historic property, as it would require removal of a small portion of siding and the roof on the north side for the construction of the dormer. The stairs would have a minor impact on the house because they would be located on the north side and oriented to the rear and slightly visible from the street. The proposed dormer addition and staircase would be compatible with the house, as the dormer would be designed to be similar to the existing dormers, except with the wood door with sidelights. The removal of the eaves for the dormer and for head clearance on the top stairs would be a minor impact because it would be on the east side of the dormer and not very visible from the street, if at all. While it requires removal of historic fabric, it is a small amount and on the side rather than the front, lessening the impact. Other possible options for the attic entry would be more visible or impossible based on the layout in the attic. The rear has a projection that would interfere with placement of a staircase from the rear dormer, and the south side would be slightly more visible. The proposed project would have a positive impact on the protection, enhancement, perpetuation and use of the building and district, as it would allow the attic unit to function separately from the rest of the house, thereby helping the current owner stay in the house and giving potential future owners the option to have a second unit. For these reasons, the proposed attic dormer and staircase would meet the Criteria and Standards in Section 24-956(a), including #1, 2, 3, and 5.

The proposed attic dormer and staircase would meet the Secretary's Standards #2, 9 and 10 for alterations because it would not remove a significant amount of the overhanging eaves to adversely affect the integrity of the house. The dormer would be compatible with the house and would only adversely affect a small amount of historic fabric, specifically the eaves. It would also not impact the historical integrity of the property. If the dormer and/or staircase is removed in the future, the house would still retain sufficient integrity to convey significance. For these reasons, the proposed project would meet the Secretary's Standards for Rehabilitation and therefore, Section 24-956(a) Criterion and Standard #6.

The proposed project would also meet the design guidelines for new alterations and additions. The proposed project would not remove a significant amount of eaves and would not obscure significant features. Removal of the dormer and staircase in the future would not destroy or remove historic materials. The proposed dormer and staircase would be set back from the front of the house and on the side and leading to the rear, minimizing the impact on the house and district. The house would be able to convey its significance, even with the dormer and staircase. It would be visually subordinate and the dormer would be designed to be similar in roof style and materials to the historic dormers. Exterior attic staircases were not used historically in Greeley, so the project does not convey a false sense of history and is easily distinguished as a product of the 21st Century rather than the early 20th Century. Finally, the proposed project would not affect the original and primary entrance, which is located on the first story on the west side. For these reasons, the proposed attic dormer and staircase project would meet the design guidelines and district designation plan and therefore Criterion #8 in Section 24-956(a) of the Greeley Municipal Code.

In summary, for these reasons, the proposed attic dormer and staircase project meets the criteria and standards in Section 24-956 of the Greeley Municipal Code, including the Secretary of the Interior's Standards and the relevant General Design Review Guidelines and guidelines from the District Designation Plan for the Monroe Avenue Historic District.

Section 24-956 (a) Criteria and Standards Addressed: 1, 2, 3, 5, 6, and 8 (Secretary's Stds #2, 9 and 10) and Historic Preservation General Design Review Guidelines for New Alterations and Additions and the Monroe Avenue Historic District Designation Plan

NOTICE:

Greeley Municipal Code Section 24-949(c) specifies public notification requirements for Certificate of Approval applications, specifically mailing a hard copy notification letter by first class mail no less than 7 days prior to the hearing. The applicant waived the requirement for a hard copy letter. Staff emailed a notification letter with the date, time and location of the public hearing to the property owner and posted a sign at the property on Monday, May 17, 2021.

STAFF RECOMMENDATION:

Approval, with the condition that all required permits be obtained.

RECOMMENDED MOTION:

A motion that, based on the application received and the preceding analysis, the Commission finds that the proposed dormer and attic staircase at the Russell House at 1308 9th Avenue meets (a) Criteria and Standards 1, 2, 3, 5, 6, and 8 of Section 24-956 of the Greeley Municipal Code, and therefore approves the Certificate of Approval, with the condition that all required permits be obtained.

ATTACHMENTS:

Attachment A – Application & Narrative for Certificate of Approval

Attachment B – Architectural Drawings

Attachment C – Current Photos

Attachment D – Existing Site Map



City of Greeley
 Community Development Department
 Historic Preservation Office
 1100 10th Street, Ste. 201
 Greeley, CO 80631
 970.350.9222
www.greeleygov.com/hp

PROCEDURES FOR MAJOR ALTERATIONS TO A HISTORIC PROPERTY

Application Packet

The City of Greeley's Historic Preservation Ordinance, Chapter 18.36 of the Greeley Municipal Code, requires that no major exterior alteration be made to any designated historic property or any property within a designated historic district without a Certificate of Approval issued by the Historic Preservation Commission. Alteration means any act or process requiring a building permit, moving permit, demolition permit or sign permit for the reconstruction, moving, improvement or demolition of any designated property or district; or any other action in which a review by either the Historic Preservation Commission or the Historic Preservation Specialist is necessary under Chapter 18.36 and/or the district designation plan and in accordance with the definitions of major and minor alterations, for the purposes of Chapter 18.36. The Historic Preservation Commission issues Certificates of Approval to indicate its approval of major alterations. Major alteration means a modification to a structure that has potential to significantly alter the character of the property and includes, but is not limited to, window replacement; building addition; porch enclosure; reconstruction of a portion of the primary building; addition of dormers or other alteration to the roofline; reconstruction of features on a building; material replacement with a different material (e.g., siding); alteration or replacement of a character-defining feature; demolition; relocation; and new construction. Major alteration includes any modification that is not considered maintenance or a minor alteration. The Historic Preservation Commission makes all Certificate of Approval decisions for major alterations, which may be appealed to City Council. The Commission may approve, approve with conditions or deny applications.

The Commission will review the Certificate of Approval applications according to the following criteria and standards in Section 18.36.150 of the Greeley Municipal Code:

- (a) Criteria and standards for alterations to a designated property or a property in a historic district are as follows:
 - (1) The effect of the alteration or construction upon the general historical or architectural character of the designated property.
 - (2) The architectural style, arrangement, texture and materials of existing and proposed construction, and their relationship to the other buildings.
 - (3) The effects of the proposed work in creating, changing or destroying the exterior architectural features and details of the structure upon which the work shall be done.
 - (4) The compatibility of accessory structures and fences with the main structure on the site and with adjoining structures.
 - (5) The effect of the proposed work upon the protection, enhancement, perpetuation and use of the landmark or landmark district.

- (6) Compliance with the current Secretary of the Interior's Standards for the Rehabilitation of Historic Properties, as defined in Section 18.36.030 of this Chapter.
- (7) If the property is a noncontributing property in a historic district, then alterations will be in accordance with the district designation plan as recommended by the Commission and approved by City Council.
- (8) Other requirements for alterations of a designated property or contributing property in a district as are required by the procedures and bylaws established by the Commission.

DEFINITIONS

Alteration means any act or process requiring a building permit, moving permit, demolition permit or sign permit for the reconstruction, moving, improvement or demolition of any designated property or district; or any other action in which a review by either the Historic Preservation Commission or the Historic Preservation Specialist is necessary under this Chapter and/or the district designation plan and in accordance with the definitions of major and minor alterations, for the purposes of this Chapter.

Maintenance, as used in this Chapter, means measures to protect and stabilize a property, including ongoing upkeep, protection and repair of historic materials and features. *Maintenance* shall include the limited and responsive upgrading of mechanical, electrical and plumbing systems and other Code-required work to make a property safe and functional.

Major alteration, for the purposes of this Chapter, means a modification to a structure that has potential to significantly alter the character of the property and includes, but is not limited to, window replacement; building addition; porch enclosure; reconstruction of a portion of the primary building; addition of dormers or other alteration to the roofline; reconstruction of features on a building; material replacement with a different material (e.g., siding); alteration or replacement of a character-defining feature; demolition; relocation; and new construction. *Major alteration* includes any modification that is not considered maintenance or a minor alteration.

Minor alteration, for the purposes of this Chapter, means a modification to a structure that does not significantly alter the character of the property and includes, but is not limited to, replacement of roof; installation and repair or replacement of gutters if exterior trim elements are not altered; reconstruction and/or repair of portions of secondary structures; addition or replacement of storm windows and doors to existing windows and doors; repair or replacement of architectural elements with the same material, design, size, color and texture; replacement of less than fifty percent (50%) of a porch railing; replacement of original material with the same material (e.g., replacing a portion of wood siding with wood siding of the same size, profile and type); removal of nonoriginal material, such as vinyl, aluminum, etc.; adding awnings; repainting masonry; and signs requiring a permit.

CERTIFICATE OF APPROVAL PROCESS

Step 1. Pre-Application Conference

- Consult with Historic Preservation Specialist (call the Historic Preservation Office @ (970) 350-9222 or e-mail betsy.kellums@greeleygov.com)
- Receive Application Form for Certificate of Approval
- Review requirements with Historic Preservation Specialist

Step 2. Formal Application

- Submit Application Form for Certificate of Approval and all required information through eTRAKiT on the City of Greeley website: <http://greeleygov.com/services/etrakit>
- Application requires owner signature if owner is not the applicant.
- Special information may be requested by the Commission if required for use by persons or groups providing advisory assistance.
- Incomplete applications will hold up the process. Additional information may be requested.

Step 3. Notification, Scheduling and Posting

- **Allow a minimum of 21 days from the receipt of the application to the date of the public hearing.** Additional time may be required on a case-by-case basis.
- The City will mail notice of the hearing to the applicant and property owner no less than seven days prior to the hearing. The Historic Preservation Commission will hold the public hearing at a regularly scheduled meeting. They meet on the first and third Mondays of each month at 4:00 p.m.
- The City will post a sign at the property seven days prior to the hearing.

Step 4. Public Hearing

- Attend the Certificate of Approval Hearing. The formal hearing will follow a pre-written agenda as follows:
 - a. Chair Introduces Public Hearing Agenda Item
 - b. Historic Preservation Staff Report
 - c. Applicant presentation
 - d. Public comment.
Names and addresses for the record
 - e. Applicant rebuttal
 - f. Chairman calls for motion and Commission discussion

Step 5. Disposition

- Approval or denial of the Application for Certificate of Approval shall be granted after the Commission has heard all interested parties and relevant evidence.
- If the Application is approved, alteration, relocation or demolition of the structure may not commence until the Certificate of Approval has been filed with the Weld County Clerk and Recorder and all required permits have been issued. ***The City will get the Certificate of Approval and required attachments, such as architectural drawings, recorded by the Clerk and Recorder.***
- ***If approved, work shall be completed within twelve (12) months of the date of Commission approval, with the option for two (2) six-month extensions, as approved by the Community Development Director.***

***The applicant is responsible to pay all required recording fees. The Historic Preservation Specialist will inform the applicant of the cost of recording. Please make the check payable to the City of Greeley and submit to the City of Greeley Historic Preservation Office. Recording fees are \$15 for the first page that is 8 1/2" x 11" (letter) or 8 1/2" x 14" (legal) and \$5 for each additional page. For questions about what the recording fee will be, please contact the Historic Preservation Staff at 970.350.9222.**



City of Greeley Community Development Department, Historic Preservation Office, 1100 10th Street, Ste. 201, Greeley, CO 80631
970.350.9222 www.greeleygov.com/hp

APPLICATION FORM FOR CERTIFICATE OF APPROVAL
MAJOR ALTERATIONS

The City of Greeley's Historic Preservation Ordinance, Chapter 18.36 of the Municipal Code, requires that no exterior major alteration is permitted of any designated historic property or property within a designated historic district without a Certificate of Approval issued by the Historic Preservation Commission. **Please complete pages 5, 7, and 8 and add additional sheets as necessary.**

PROPERTY OWNER(S)

Name: Brent McHattie
Address: 1308 9th Avenue
Greeley, Colorado 80631
Phone: (970) 978-5338
Cell phone: (970) 978-5338
Email: bmchattie@icloud.com

**APPLICANT (if different
From property owner)**

Name: Same
Address: _____
Phone: _____
Cell phone: _____
Email: _____

HISTORIC PROPERTY

Name: Russel House
Address: 1308 9th Avenue
Historic District (if applicable): Monroe Historic District
Legal Description: _____

Certification: I certify that the information and exhibits herewith submitted are true and correct to the best of my knowledge.

Applicant (Print): Brent McHattie Telephone: (970) 978-5338

Signature: Brent McHattie Date: April 26, 2021

Property owner's signature required. If applicant is other than property owner, property owner approves of the applicant's proposed project.

Owner (Print): _____ Telephone: _____

Signature: _____ Date: _____

**Narrative of Proposed Project
At 1308 9th Avenue, Greeley, CO 80631**

Page 6

a. What is the proposed project? Include detailed information about materials, design, measurements, and location on the building or property.

This proposal for the approval of a major alteration to the "Russel House" historic property at 1308 9th Avenue in Greeley Colorado, involves the installation and construction of an exterior entrance to an attic apartment (space). The project will include the installation of a metal staircase leading to an entry door at the attic level of the north side of the house. A dormer will be constructed to accommodate the door/entry. Please see architectural drawing for design and scale of the staircase and dormer.

In order to install the staircase and entry/dormer, a portion of the eaves will be removed along with a small amount of siding. A portion of the roof will also be removed to create space for the dormer.

If approved, care will be taken to build a dormer that is compatible with the two existing dormers and the overall architectural style of the house (see drawings). The dormer will be wood construction with dimensions shown in the drawings. New roofing material will be the same as the existing materials (shingles, decking, etc.) The entry door will be compatible in style with the era in which the house was built. As stated previously, the staircase will be of steel construction.

The overall purpose of this proposal is to create a private entrance for the occupant of the attic space and to increase the privacy for the occupant(s) of the main house as well. In the current set-up, the occupant of the attic must use the interior staircase, thus having to walk through and near private areas in the main house. I (Brent McHattie / owner) do not want to alter the interior of the main house in any way in order to increase privacy, so I feel that the exterior entrance is the best option. It should also be noted that the staircase and dormer will be on the north side of the house, which is almost completely blocked from view due to the apartment building that sits adjacent to the north of the proposed property.

b. Time constraints on the project/Project urgency?

I would prefer to complete the project within the late spring to summer months of 2021.
May – August of 2021.

Thank you for your consideration of this proposal.

THIS PAGE LEFT INTENTIONALLY BLANK

MAJOR ALTERATIONS CERTIFICATE OF APPROVAL SUBMITTAL CHECKLIST

Include all pertinent information identified on the following page(s), as well as special information requested by Historic Preservation Staff. Add additional sheets for narrative/information as necessary. Additional copies may be requested by Staff, if required for use by persons or groups providing advisory assistance. Submit this application and all required attachments through the City of Greeley website project module of eTRAKiT:

<http://greeleygov.com/services/etrakit>

The need for additional documents, as listed below, will be determined in a consultation with Historic Preservation Staff and may include:

ALTERATIONS

- ☐ Pre-application Conference (in person or phone) (not required) _____
Date
- ☐ Application Form signed by applicant and owner (if different)
- ☐ For projects involving architectural drawings, one set 11"x17" (and larger if requested) scaled project drawing(s), including name, date, project address, north arrow, graphic scale, date of drawings, and name, address & phone of owner and designer (if drawings are needed); or
- ☐ Mock-Up of signs or awnings, as needed
- ☐ Product literature, if applicable, such as for window, roof projects, etc.
- ☐ If the proposal is for replacement of historic material, such as windows or siding, provide estimates from qualified contractors for repair and restoration and for replacement.
- ☐ Digital photos accurately representing existing materials, colors, and textures of each side of the building, site or structure to be affected. Date the photographs. Provide information about the view (such as view looking to the north), name of the photographer and about the subject of the photo.
- ☐ Narrative of the proposed project (please type or print legibly on a separate page) Please include responses to the following:
 - a. What is the proposed project? Include detailed information about materials, design, measurements, location on the building or property.
 - b. Time constraints on the project/Project urgency?

- c. **Identify which design guidelines relate to the project. Explain how the proposed project meets the guidelines. Provide justification if the proposed project does not meet the guidelines.**

Guidelines are available for download on the City's historic preservation website,

<http://greeleygov.com/services/historic-preservation/documents>

General guidelines are relevant for individually designated properties. District guidelines are also available for properties located with Greeley Historic Register designated districts.

Contact the Historic Preservation Office at 970.350.9222 or betsy.kellums@greeleygov.com for more information or for assistance.

c. Identify which design guidelines relate to this project. Explain how the proposed project meets the guidelines. Provide justification if the proposed project does not meet the guidelines.

The proposed project relates most closely with the category of “New Alterations and Additions” in the guidelines. The stairway and dormer addition will affect only the north side of the house, which has low visibility from the street as well as all other directions (see photos).

The staircase will be constructed close to the house, but no windows, doors, or siding will be removed or altered with the stairway installation. See next paragraph for alterations to the fascia and soffit. The staircase itself will run from roughly the end of the house on the backyard side to the entry dormer. This orientation will limit visibility from the street.

In order to construct the dormer and to create head clearance when ascending or descending the stairway, between 12 and 13 feet (see architectural drawings) of roof overhang (fascia and soffit) will need to be removed. After careful consideration this location is clearly the best option to achieve the entry to the attic, so the removal of this material is necessary and the only true option.

Creating the space for the dormer entry will require a minimal amount of roofing (rafter material, decking, and shingles) to be removed as well as a small portion of siding and wall material just above the upper middle windows. The removal of this roofing material, siding, and wall material is also necessary for the project to be carried out. Other than the aforementioned materials, no other existing features (windows, doors or siding) will be altered in any way.

The new dormer will be constructed of wood with the dimensional lumber that is available for construction today. Roof shingles will match the existing black asphalt shingles on the house currently. The dormer will be constructed in a style and with proportions that are compatible with the overall style of the house and with the existing dormers. The door and windows that flank the doorway will also be of wood and glass construction, and while not selected yet, will be compatible in style with the era of the house and the neighborhood. The staircase will be of steel construction and be black in color.

The removal of a small amount of original material from the north side of the house is not ideal per the guidelines, however the overall benefits and low visibility of the addition justify the need to do so, in my opinion. Creating this entrance to the attic apartment space will allow me to retain my primary residence on the site and be able to rent the house, thus creating affordable housing for others and increasing the population density in the city center. I believe these to be goals of the City of Greeley as a whole. Renting part of my property is also consistent with the housing in the Monroe Historic District where the vast majority of houses are rentals. In addition and as stated earlier, the north side of the house is the least visible side of the house.

It is obscured from view by the apartment building to the north and by very large mature trees in the front of the property (see photos).

Other than this project, I do not foresee making any further changes to the exterior of the house other than to maintain it at a high standard. Completion of this project will also allow me to refrain from doing anything to the interior of the house to create a more private entryway to the attic apartment space. Thank you for your consideration of this proposal.

Brent McHattie
Owner
1308 9th Avenue

NEW

SHEET SCHEDULE

- A0 - COVER SHEET
- A1 - LOFT ENTRY PLANS
- A1.1 - SITE PLAN
- A2 - ELEVATIONS AND ST
- S1 - FOUNDATION PLAN
- S2 - STAIR AND DORMER

GENERAL NOTES

1. BUILDING DEPARTMENT: CIT
2. Code Editions: 2018 IRC, 2018 IFGC, (International Fu
3. Design Criteria: Roof-Groun Second Gusts) Exposure C;
4. Type of Construction: NEW
5. Minimum Insulation R value shall be deemed to satisfy i insulation extends over the ventilation required; WALLS to unconditioned spaces, R FOUNDATION: R-13 cavity c under slabs, for frost protec
6. Door and Window sizes are Windows shall be Tempered within shower or bath tub v height of 24", a minimum of clear opening and a maxim responsibility of and shall be separating garage from livi exterior Doors and Window
7. Exterior walls to be per plan sheetrock at interior, U.N.O. between garage and living owner. Fiber-cement, fiber-fiber-reinforced gypsum bc 1178 or C 1278 respectively manufacturers' recommend and wall panels in shower c
8. Roofing per plan with min. i eaves and valleys per code roofs that will collect and d least 5' from foundation wa
9. Dimensions are to edge of U.N.O. Use printed dimensio
10. Electrical, Mechanical and plan as it is required to be i wants, contact your electri components, but specifica excluded. Plans show local same will be excluded



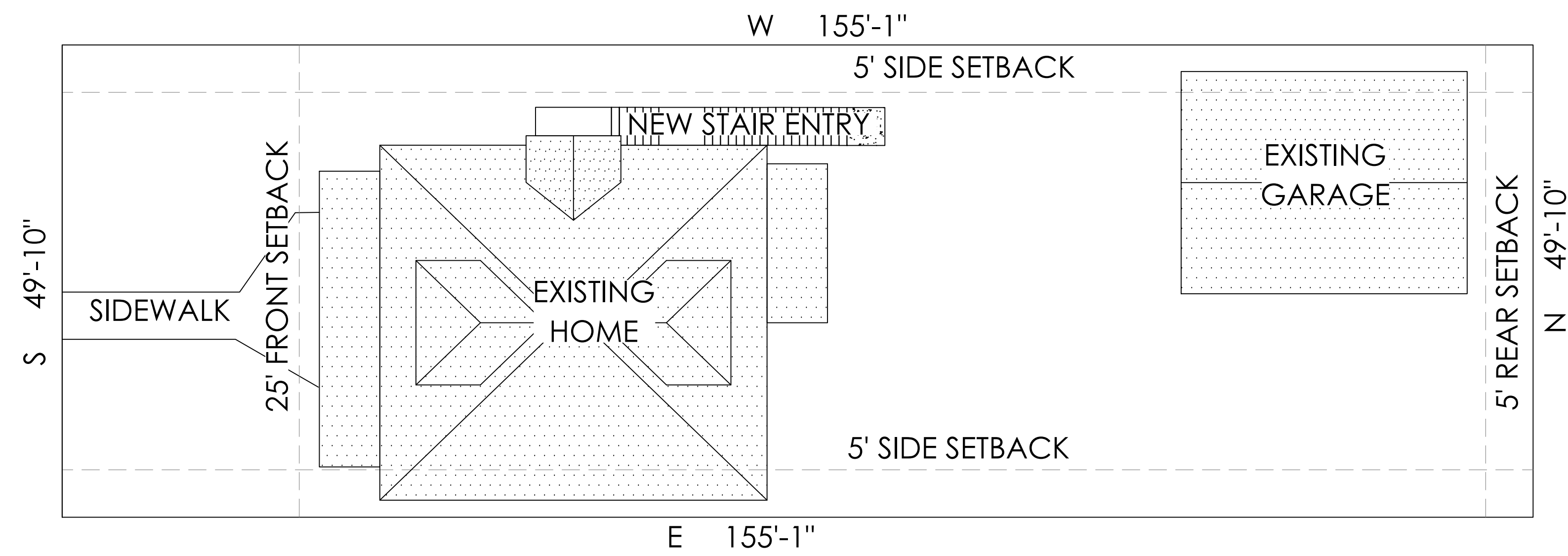
A0

COVER SHEET

SC



SC



PLANNING AND ZONING INFORMATION

LEGAL DESCRIPTION: GR 5515 S50FT OF N132FT OF W150FT & W6FT OF E50FT OF S50FT OF N132FT L2 BLK104

ZONING CATEGORY: C-H

PLANNED DEVELOPMENT: NORTH SECOND LEVEL ENTRY STAIRCASE

SETBACKS:

FRONT- 25'

SIDE- 5'

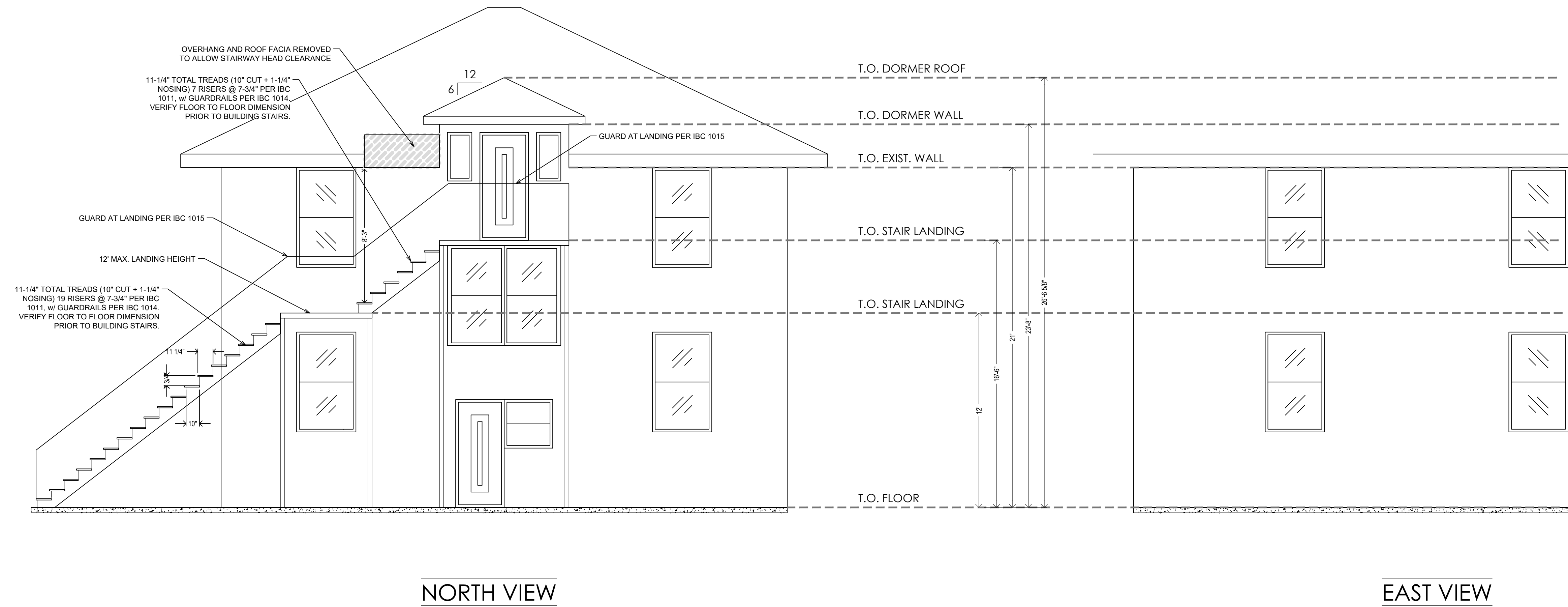
REAR- 5'

A1.1

SITE PLAN

SC

THE TYPE OF EXTERIOR FINISH, THE
INSTALLATION AND THE WATERPROOFING
DETAILS ARE ALL TO BE THE FULL
RESPONSIBILITY OF THE OWNER/BUILDER.
THIS DESIGNER ASSUMES NO RESPONSIBILITY
FOR THE INTEGRITY OF THE BLDG. ENVELOPE



A2

ELEVATIONS AND STAIR DETAIL

THE T
INSTALLA
DETA
RESPONS
THIS DESIG
FOR THE IN

SC

STRUCTURAL NOTES

1. REFERENCE: INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION, AS AMENDED BY THE MUNICIPALITY HAVING JURISDICTION OVER THIS PROJECT.
2. FOUNDATION DESIGN IS BASED ON THE ASSUMPTION THAT THE EXISTING SOIL AT THE BOTTOM OF THE EXCAVATION FOR THE FOUNDATION HAS LOW SWELL POTENTIAL, BASED ON A MAP PUBLISHED BY THE COLORADO GEOLOGICAL SURVEY WHICH SHOWS THE LOCATION OF VARIOUS TYPES OF SOILS IN THE FRONT RANGE URBAN CORRIDOR. THE DESIGN ENGINEER'S EXPERIENCE INDICATES THAT SANDY CLAY SOILS EXIST AT THIS SITE. IT IS EXPECTED THAT THE SOIL HAS LOW SWELL POTENTIAL AND IS CAPABLE OF SUPPORTING FOOTING PADS AND WALLS ON-GRADE IMPOSING A MAXIMUM BEARING PRESSURE OF 1,500 PSF, AS SPECIFIED IN IRC TAKE NO. 401.1 WITH A BALANCED DEAD LOAD OF 40 PSF TO MINIMIZE DIFFERENTIAL MOVEMENT. AN "OPEN HOLE" OBSERVATION SHALL BE PERFORMED AT THE OWNER'S EXPENSE UNDER THE SUPERVISION OF MARK BENJAMIN P.E. AS SOON AS THE EXCAVATION WORK IS COMPLETED TO VERIFY THIS ASSUMPTION. AS AN ALTERNATIVE, A COPY OF ANY PREVIOUS SOILS REPORT MAY BE FORWARDED TO MARK BENJAMIN P.E. TO VERIFY THIS ASSUMPTION. IF THIS OPTION IS AVAILABLE, INCLUDE A COPY OF THE SOILS REPORT WITH THE BUILDING PERMIT APPLICATION FOR THE BUILDING OFFICIAL'S USE. AS A FURTHER OPTION, THE SOIL TYPE ASSUMED IS CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT OR SANDY SILT (CL, ML, MH OR CH). IF THE BUILDING OFFICIAL DETERMINES THAT THIS IS THE SOIL THAT EXISTS AT THE LOCATION, OR IF A COMPETENT INDIVIDUAL (CONTRACTOR OR EXCAVATOR) CAN MAKE THIS DETERMINATION TO THE BUILDING OFFICIAL'S SATISFACTION, FORWARD THIS INFORMATION TO MARK BENJAMIN P.E.
3. PLACE FOOTINGS ON UNDISTURBED SOIL, BELOW LOCALLY MANDATED FROST DEPTH. IN CASE SOIL IS DISTURBED, RECOMPACT IT TO 90% STANDARD PROCTOR DENSITY OR PER GEOTECHNICAL REPORT.
4. ALL FOUNDATION CONCRETE SHALL DEVELOP 3000 PSI COMPRESSIVE STRENGTH IN 28 DAYS. THE AGGREGATE SHALL BE 1 INCH MAXIMUM SIZE. THE CEMENT IN ALL CONCRETE IN CONTACT WITH EARTH SHALL BE TYPE I OR TYPE II MODIFIED UNLESS OTHERWISE NOTED. MAXIMUM SLUMP SHALL BE 4 IN WALLS, BEAMS AND FOOTINGS, 3 IN STRUCTURAL SLABS, 5 IN SLAB-ON-GRADE, AND 8 IN DRILLED CONCRETE PILES (AKA CAISSONS). WATER IN EXCESS OF 1.0 GALLONS PER CUBIC YARD CANNOT BE ADDED AT THE SITE WITHOUT APPROVAL OF THE DESIGN ENGINEER. CAISSONS MUST HAVE A MINIMUM SLUMP, WHICH MAY VARY, SUPPLEMENTING THE MIX WITH ADDITIONAL CEMENT OR PLASTICIZER IN ORDER TO ACHIEVE THE 3000 PSI 28-DAY STRENGTH REQUIREMENT. SAC CRETE MAY BE USED.
5. 8" IN FOUNDATION PLAN REFERS TO FOOTING FORMS BY BIGFOOT SYSTEMS (www.bigfootsystems.com). OR EQUIVALENT. 8" REFERS TO SIZE (8" IS 28" DIAMETER). INSTALL APPROPRIATE SIZE CONSTRUCTION TUBE (i.e. SCH40) ON TOP TO HEIGHT REQUIRED. PLACE FOOTING FORM WITH CONSTRUCTION TUBE IN HOLE AND BACKFILL PRIOR TO FILLING WITH CONCRETE.
6. ALL REINFORCING STEEL BARS SHALL CONFORM TO ASTM A615 GRADE 40, EXCEPT FOR COLUMN TIES, BEAM STIRRUPS AND EMBEDDED PLATE ANCHORS, WHICH SHALL BE GRADE 40. CONCRETE PROTECTION FOR REINFORCEMENT SHALL BE IN ACCORDANCE WITH IRC SECTION 903.1.3.3. MAKE ALL BARS CONTINUOUS AROUND CORNERS OR PROVIDE CORNER BARS OF EQUAL SIZE AND SPACING. PLACE 2 - #5 GRADE 40 OR 2 - #4 GRADE 60 BARS (1 EACH FACE) WITH 2" PROTECTION AROUND ALL OPENINGS IN THE CONCRETE. IN GRADE BEAMS, BOTTOM STIRUPS SHALL BE AT THE DRILLED PIER AND TOP STIRUPS SHALL BE AT MIDSPAN.
7. ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM A36 UNLESS OTHERWISE NOTED. THE TERM "DUAL GRADE" DENOTES ASTM A36/A572 GRADE 50 OR A992 MATERIAL WITH A 50,000 PSI YIELD STRESS. PIPE COLUMNS SHALL CONFORM TO ASTM A53 GRADE B OR API 5L. BOLTS SHALL CONFORM TO ASTM DESIGNATION A307 UNLESS OTHERWISE NOTED. ALL FABRICATION AND ERECTION SHALL BE IN ACCORDANCE WITH AMERICAN INSTITUTE FOR STEEL CONSTRUCTION SPECIFICATIONS AND STANDARDS. IF COLUMNS ARE SPECIFIED IN TERMS OF REQUIRED CAPACITY INSTEAD OF SIZE, THE CONTRACTOR SHALL PROVIDE LOAD RATING INFORMATION ON THE PRODUCT THAT IS PLANNED TO BE USED PRIOR TO INSTALLATION.
8. ALL LUMBER MATERIAL SHALL BE NO. 2 GRADE HEM-FIR OR BETTER, WITH A BASE MINIMUM ALLOWABLE EXTREME FIBER BENDING STRESS FOR MEMBERS (Fb) OF 850 PSI EXCLUDING ADJUSTMENT FACTORS FOR USE, SIZE, LOAD DURATION, ENVIRONMENT, ETC., UNLESS OTHERWISE NOTED. WHERE THE TERM "DOUG-FIR" APPEARS ON THE DRAWINGS, THE DESIGNER NO. 2 GRADE DOUGLAS FIR OR BETTER, HAVING AN Fb EQUAL TO 875 PSI. TOP PLATES MUST BE NO. 2 GRADE DOUGLAS FIR OR BETTER, OR NO. 2 GRADE HEM-FIR IF THE FRAMING MEMBERS BEARING ON WALLS ARE STACKED ABOVE THE STUDS. STUDS SHALL BE STANDARD GRADE OR BETTER.
9. STANDARD HEADERS SHALL BE 2 - 2 X 8'S BEARING ON SINGLE TRIMMER STUDS FOR OPENINGS LESS THAN 4 FEET WIDE, 2 - 2 X 12'S BEARING ON DOUBLE TRIMMER STUDS (UNLESS NOTED OTHERWISE) FOR OPENINGS 4 FEET TO 6 FEET WIDE. ALL OPENINGS OVER 6 FEET WIDE SHALL HAVE ENGINEERED HEADERS. IF 3 OR MORE STUDS ARE INDICATED AS A COLUMN, THE STUDS SHALL BE BUNDLED AND Nailed TOGETHER WITH ONE 1x6 NAIL PER VERTICAL FOOT. ROOF SHEATHING SHALL BE 7/16" OSB MINIMUM SECURED WITH 8d NAILS AT A 6" SPACING AT PANEL AND DIAPHRAGM EDGES AND AT A 12" SPACING AT PANEL FIELD OR 1-3/4" 1x6 GAGE STUDS AT A 3" SPACING AT PANEL AND DIAPHRAGM EDGES AND 6" AT PANEL FIELD. EDGES UNBLOCKED. WALLS SHALL BE BRACED WITH SOLID 7/16" STRUCTURAL PANEL SHEATHING, WITH 8d NAILS AT A 6" SPACING AT PANEL AND SHEAR WALL EDGES AND AT A 12" SPACING AT PANEL FIELD OR 1-3/4" 1x6 GAGE STUDS AT A 3" SPACING AT PANEL AND DIAPHRAGM EDGES AND 6" AT PANEL FIELD. BOTH AT INTERMEDIATE STUDS TO MEET THE REQUIREMENTS OF IRC SECTION R602.10. UNLESS A DIFFERENT DESIGN IS SHOWN ON THE DRAWINGS, BLOCKING NOT LESS THAN 2" NOMINAL IN THICKNESS SHALL BE PROVIDED AT ALL WALL SHEATHING HORIZONTAL PANEL JOINTS.
10. ALL PRE-MANUFACTURED CONNECTORS SPECIFIED SHALL BE PROVIDED BY SIMPSON STRONG-TIE COMPANY. FOR ANY SUBSTITUTIONS, SUBMIT 3 COPIES OF SHOP DRAWINGS AND SPECIFICATIONS FOR REVIEW AND APPROVAL TO MARK BENJAMIN P.E. 7 DAYS PRIOR TO ORDERING.
11. WHERE BEAMS ARE INDICATED ON THE PLANS WITH THE LETTERS "LV", 1-3/4" WIDE LAMINATED VENEER LUMBER MEMBERS HAVING A MINIMUM FLEXURAL STRESS OF 2600 PSI, A MODULUS OF ELASTICITY OR "E-VALUE" OF 1,800,000 PSI, AND A MINIMUM HORIZONTAL SHEAR STRESS OF 285 PSI SHALL BE INSTALLED. APPROVED PRODUCTS ARE "MICRO-LAM'S" OR "PARALLAM'S" MANUFACTURED BY TRUS JOIST-MACMILLAN, "RIGIDLAM'S" MANUFACTURED BY ROSSBURG FOREST PRODUCTS, "CANG-LAM'S" MANUFACTURED BY LOUISIANA-PACIFIC, "TEC-LAM'S" MANUFACTURED BY TECTON LAMINATES, OR "VERA-LAM'S" MANUFACTURED BY BOISE CASCADE. THE PLANS WILL INDICATE THE QUANTITY NEEDED TO BUILD UP A SINGLE BEAM AND THE MINIMUM STANDARD DEPTH NEEDED.
12. PROVIDE DECK LATERAL LOAD CONNECTIONS IN ACCORDANCE WITH IRC SECTION R507.2.3 INSTALL (2) HORIZONTAL 150 LB CAPACITY DT2Z HOLD DOWNS PER FIGURE R507.2.3(1) OR (4) 750 LB CAPACITY DT1Z SECURED WITH MIN. 3/8" LAC WITH 3" PENETRATION TO SOLID LUMBER PER FIGURE R507.2.3(2) (DOES NOT REQUIRE CONNECTION THROUGH RIM JOIST INTO FLOOR JOISTS).
13. THE ENGINEER-OF-RECORD FOR THIS PROJECT, MARK BENJAMIN, P.E., HAS PERSONALLY EXAMINED THE EXISTING STRUCTURE AND PERFORMED AN ANALYSIS TO DETERMINE IF IT CAN ADEQUATELY SUPPORT THE ADDITIONAL LOADS IMPOSED BY THE NEW WORK. IF NOT, NEW STRUCTURAL COMPONENTS ARE SHOWN ON THE DRAWINGS.
14. ALL DIMENSIONS SHOWN ON STRUCTURAL DRAWINGS ARE INTENDED TO LOCATE STRUCTURAL COMPONENTS RELATIVE TO NON-STRUCTURAL COMPONENTS. THE DESIGN ENGINEER MUST BE NOTIFIED IN WRITING OF ANY DEVIATION IN EXCESS OF THREE INCHES (3") PRIOR TO COMMENCEMENT OF WORK ON COMPONENTS WHICH MIGHT BE AFFECTED BY LOCATION CHANGES. IN NO WAY CAN THE DESIGN ENGINEER BE RESPONSIBLE FOR THE ULTIMATE PRECISE LOCATION OR PLACEMENT OF ANY COMPONENT.

DESIGN LOAD VALUES (IN PSF)

GROUND, SNOW (PG)= 30 #

ROOF, DEAD = 10

ROOF, MAX WIND = 29.1 +

FLOOR, DEAD = 20

FLOOR, LIVE = 40

CEILING, DEAD = 5

SEISMIC ZONE = 8

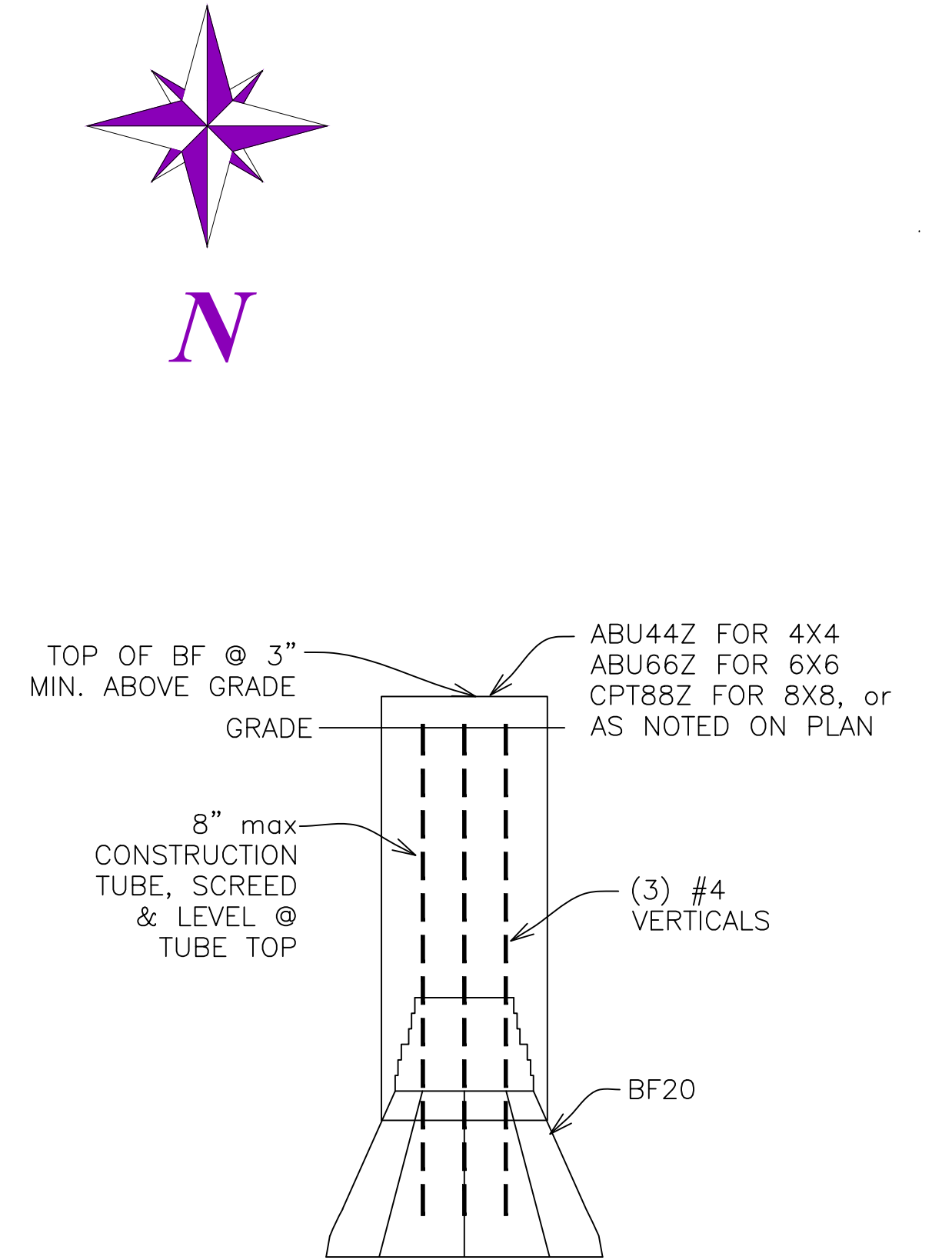
AS SUBJECT TO THE PROCEDURES OF ASCE 7.

* BASED ON A 130 MPH V-ULTIMATE WIND SPEED AT I.B.C. EXPOSURE "B". REFER TO CODE TABLES FOR OTHER ZONE LOAD VALUES.

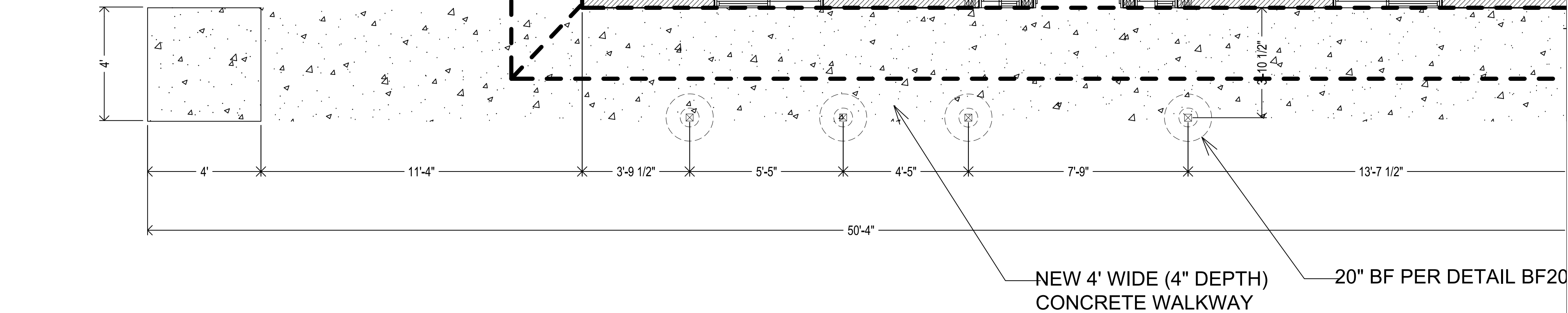
VSM/FM: 85/70; 90/75; 100/80; 105/85; 110/90; 120/100; 125/105; 130/110; 140/120; 145/125; 150/130; 160/140; 170/150

DUTY OF COOPERATION

RELEASE OF THE PLANS COMPLETED BY THE STRUCTURAL P.E. CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, HIS CONTRACTOR, AND THE STRUCTURAL P.E.. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE STRUCTURAL P.E. AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE STRUCTURAL P.E. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE STRUCTURAL P.E. SHALL RELIEVE THE STRUCTURAL P.E. FROM RESPONSIBILITY FOR ANY ADDITIONAL COSTS, DAMAGES OR LIABILITY THEREFROM. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE STRUCTURAL P.E. ARE UNAUTHORIZED, AND SHALL RELIEVE THE STRUCTURAL P.E. OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.

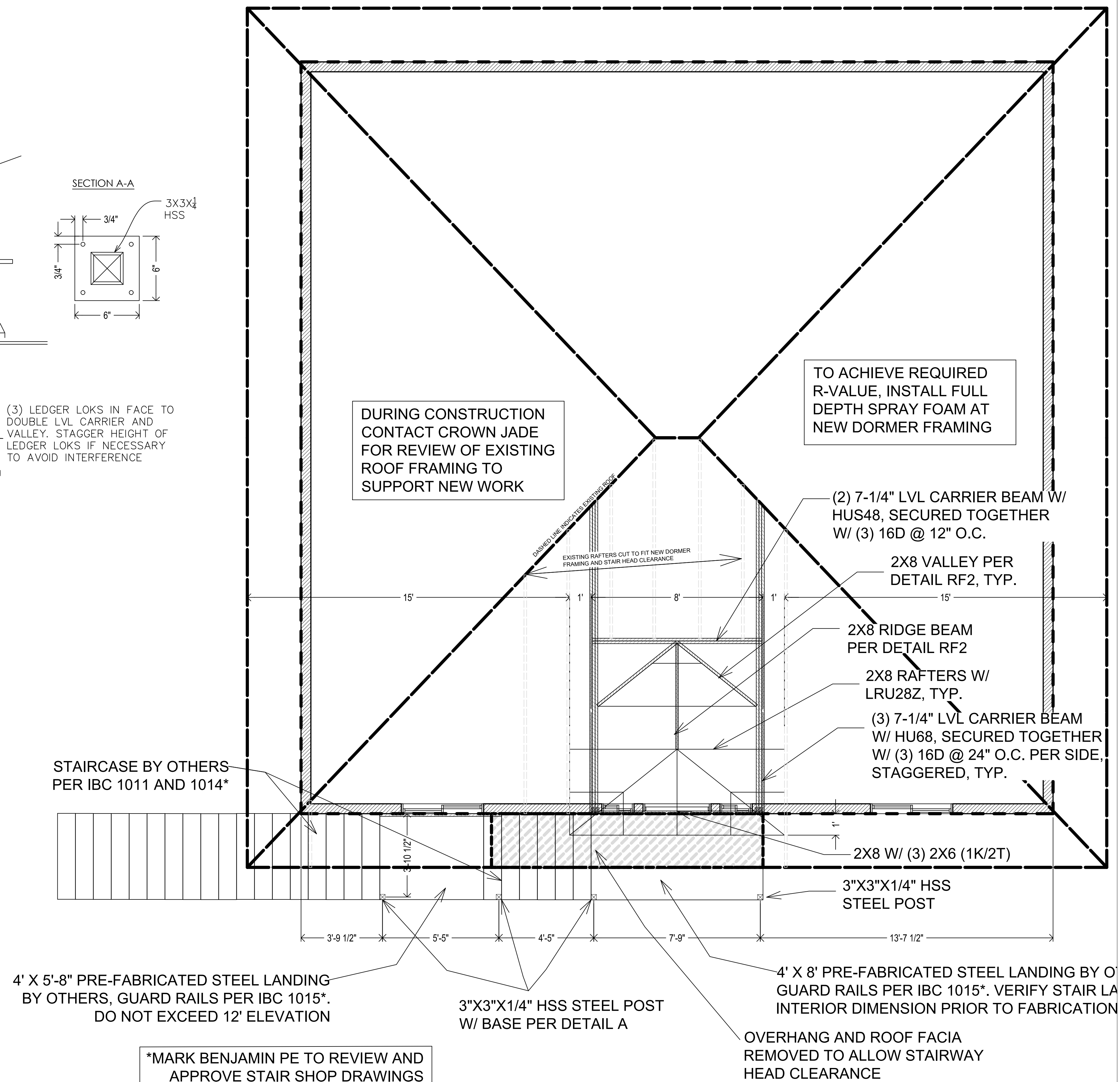
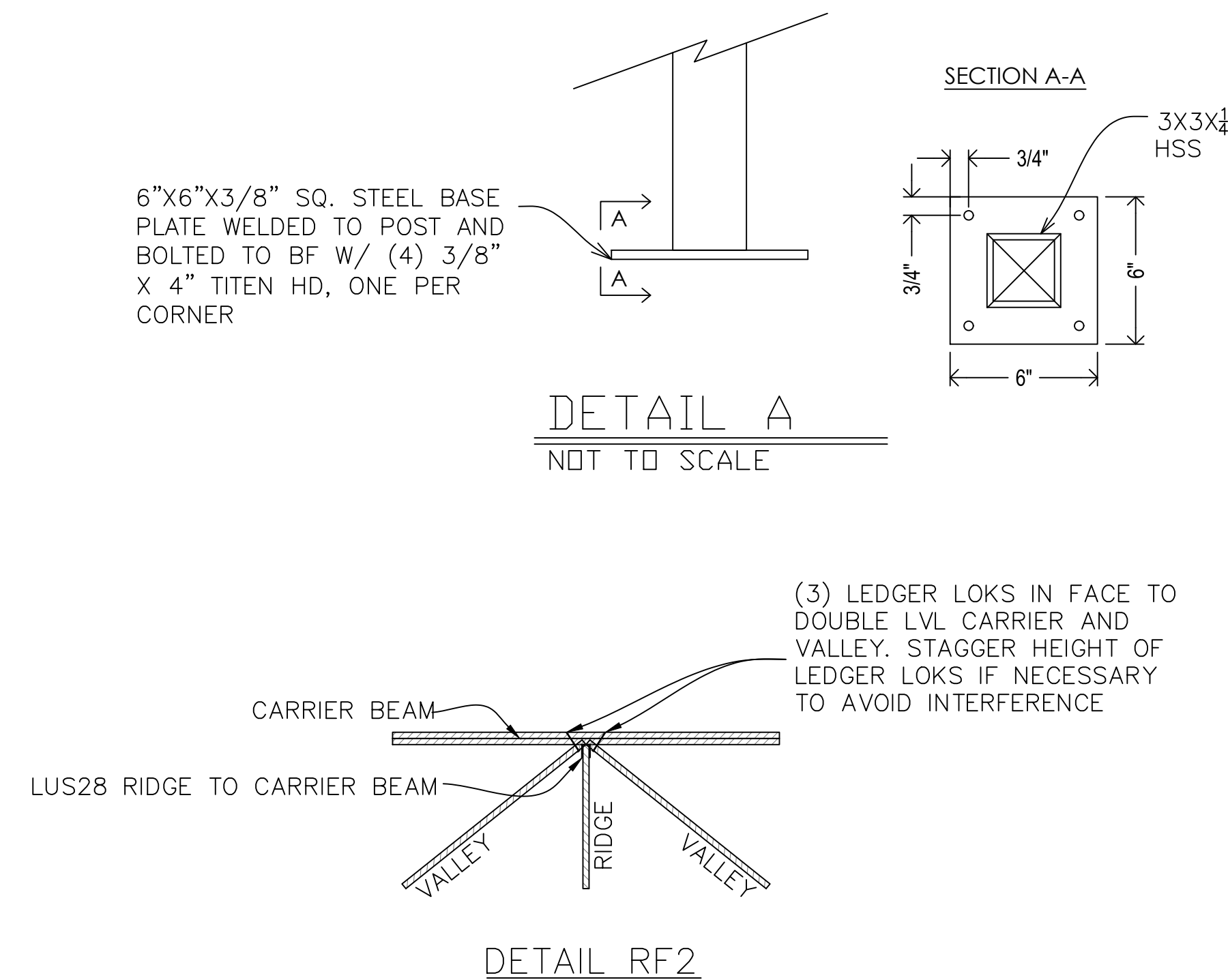


BF20 20" BIGFOOT NOT TO SCALE



S1 FOUNDATION PLAN and NOTES

SCALE



S2

STAIR AND DORMER FRAMING PLAN

SCA

1308 9th Avenue Photos – 5/17/2021



West elevation



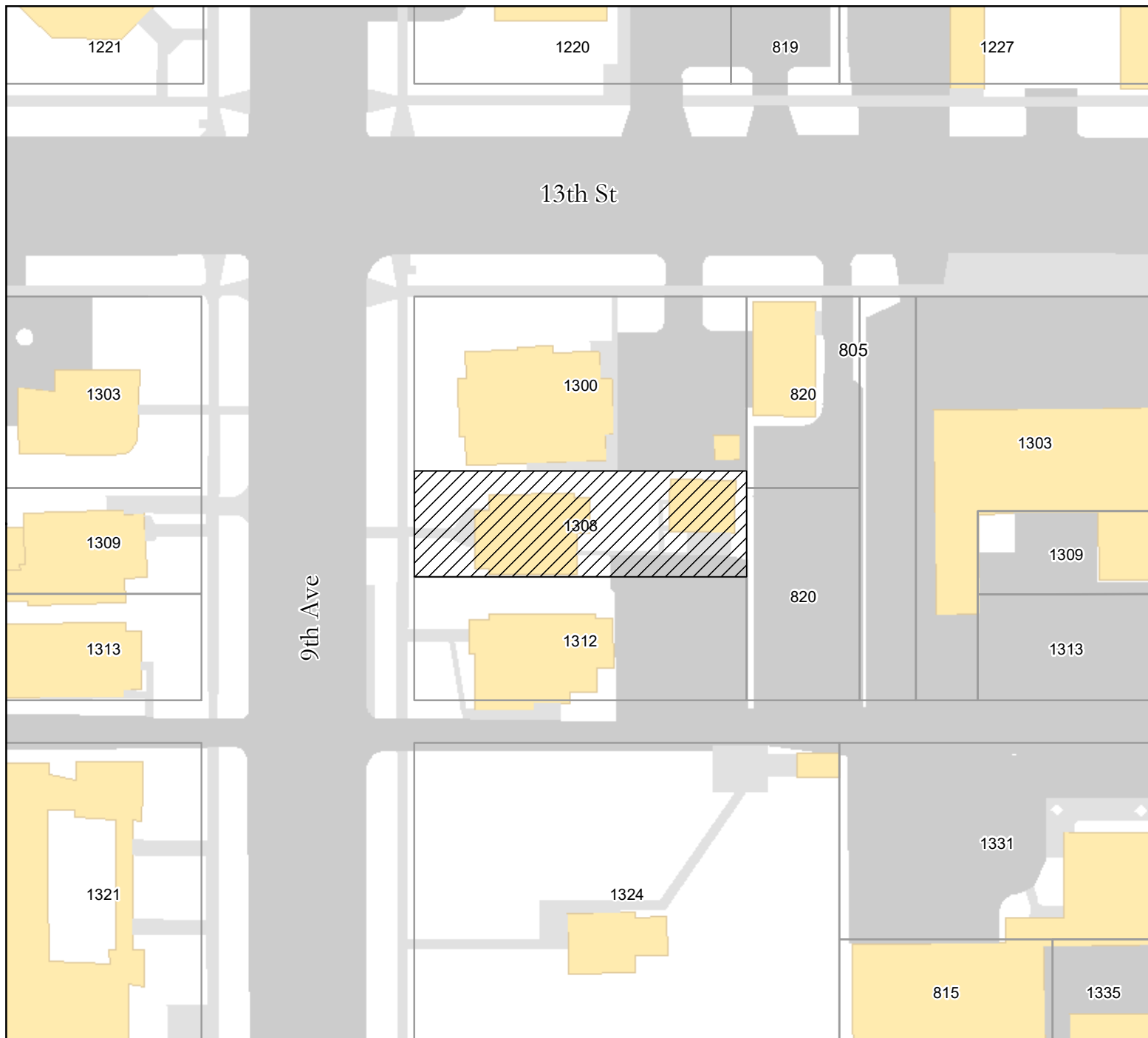
North elevation, location of proposed dormer and staircase



South and west elevations

Site Map - 1308 9th Ave

Attachment D



Created: 5/24/2021
By: COG Planning, Hist Pres, GIS

* Based on Composite of 2007 Army Corps of Engineers Flood Study and Greeley Areas of Ecological Significance.



Legend



1308 9th Ave



Parcels



Structure



Notes:

All planimetric data was digitized from aerial photographs dated 1987, 1992, 1995, 2000, and 2005. Updates are continual and data representations will change over time. This product is not necessarily accurate to engineering or surveying standards but does meet National Mapping Accuracy Standards (NMAS). The information contained within this document is not intended to be used for the preparation of construction documents.

Information contained on this document remains the property of the City of Greeley. Copying any portion of this map without the written permission of the City of Greeley is strictly prohibited.

Staff Report